



Seller Disclosure Report

Seller(s)

BEN RUSSELL DAVIS

Property Address

LOT 16 47 NORMAN AVENUE
LUTWYCHE QLD 4030

Prepared on

Monday, 27 July 2026

Enquire Now
searchassist.com.au



Seller disclosure statement



Property Law Act 2023 section 99
Form 2, Version 1 | Effective from: 1 August 2025

WARNING TO BUYER – This statement contains important legal and other information about the property offered for sale. You should read and satisfy yourself of the information in this statement before signing a contract. You are advised to seek legal advice before signing this form. You should not assume you can terminate the contract after signing if you are not satisfied with the information in this statement.

WARNING – You must be given this statement before you sign the contract for the sale of the property.

This statement does not include information about:

- » flooding or other natural hazard history
- » structural soundness of the building or pest infestation
- » current or historical use of the property
- » current or past building or development approvals for the property
- » limits imposed by planning laws on the use of the land
- » services that are or may be connected to the property
- » the presence of asbestos within buildings or improvements on the property.

You are encouraged to make your own inquiries about these matters before signing a contract. You may not be able to terminate the contract if these matters are discovered after you sign.

Part 1 – Seller and property details

Seller BEN RUSSELL DAVIS

Property address

(referred to as the "property" in this statement) LOT 16 47 NORMAN AVENUE
LUTWYCHE QLD 4030

Lot on plan description LOT 16 ON SP257677

Community titles scheme or BUGTA scheme: Is the property part of a community titles scheme or a BUGTA scheme:
☒ Yes ☐ No

If **Yes**, refer to Part 6 of this statement for additional information

If **No**, please disregard Part 6 of this statement as it does not need to be completed

Part 2 – Title details, encumbrances and residential tenancy or rooming accommodation agreement

Title details	The seller gives or has given the buyer the following—	
	A title search for the property issued under the Land Title Act 1994 showing interests registered under that Act for the property.	☒ Yes
	A copy of the plan of survey registered for the property.	☒ Yes

Registered encumbrances	Registered encumbrances, if any, are recorded on the title search, and may affect your use of the property. Examples include easements, statutory covenants, leases and mortgages. You should seek legal advice about your rights and obligations before signing the contract.
Unregistered encumbrances (excluding statutory encumbrances)	There are encumbrances not registered on the title that will continue to affect the property after settlement. ☒ Yes ☐ No Note—If the property is part of a community titles scheme or a BUGTA scheme it may be subject to and have the benefit of statutory easements that are NOT required to be disclosed. Unregistered lease (if applicable) If the unregistered encumbrance is an unregistered lease, the details of the agreement are as follows: » the start and end day of the term of the lease: 02.08.2025 - 03.08.2026 » the amount of rent and bond payable: \$520.00 PW Rent \$2,080.00 Bond » whether the lease has an option to renew: No Other unregistered agreement in writing (if applicable) If the unregistered encumbrance is created by an agreement in writing, and is not an unregistered lease, a copy of the agreement is given, together with relevant plans, if any. ☐ Yes Unregistered oral agreement (if applicable) If the unregistered encumbrance is created by an oral agreement, and is not an unregistered lease, the details of the agreement are as follows: Not applicable
Statutory encumbrances	There are statutory encumbrances that affect the property. ☒ Yes ☐ No If Yes, the details of any statutory encumbrances are as follows: All statutory rights relating to water supply, sewerage, drainage, electricity, telephone and other installations, services or utilities in, passing through or over the Land, whether or not protected by registered easement. Refer to the attached Annexure: Statutory Encumbrances Summary
Residential tenancy or rooming accommodation agreement	The property has been subject to a residential tenancy agreement or a rooming accommodation agreement under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> during the last 12 months. ☒ Yes ☐ No If Yes, when was the rent for the premises or each of the residents' rooms last increased? (<i>Insert date of the most recent rent increase for the premises or rooms</i>) 2nd August 2025 Note—Under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> the rent for a residential premises may not be increased earlier than 12 months after the last rent increase for the premises. As the owner of the property, you may need to provide evidence of the day of the last rent increase. You should ask the seller to provide this evidence to you prior to settlement.

Part 3 – Land use, planning and environment

WARNING TO BUYER – You may not have any rights if the current or proposed use of the property is not lawful under the local planning scheme. You can obtain further information about any planning and development restrictions applicable to the lot, including in relation to short-term letting, from the relevant local government.

Zoning	The zoning of the property is (Insert zoning under the planning scheme, the <i>Economic Development Act 2012</i> ; the <i>Integrated Resort Development Act 1987</i> ; the <i>Mixed Use Development Act 1993</i> ; the <i>State Development and Public Works Organisation Act 1971</i> or the <i>Sanctuary Cove Resort Act 1985</i> , as applicable):	
	High density residential zone	
Transport proposals and resumptions	The lot is affected by a notice issued by a Commonwealth, State or local government entity and given to the seller about a transport infrastructure proposal* to: locate transport infrastructure on the property; or alter the	☐ Yes ☒ No
	The lot is affected by a notice of intention to resume the property or any part of the property. <i>If Yes, a copy of the notice, order, proposal or correspondence must be given by the seller.</i>	☐ Yes ☒ No
* <i>Transport infrastructure</i> has the meaning defined in the <i>Transport Infrastructure Act 1994</i> . A proposal means a resolution or adoption by some official process to establish plans or options that will physically affect the property.		
Contamination and environmental protection	The property is recorded on the Environmental Management Register or the Contaminated Land Register under the <i>Environmental Protection Act</i>	☐ Yes ☒ No
	The following notices are, or have been, given: A notice under section 408(2) of the <i>Environmental Protection Act 1994</i> (for example, land is contaminated, show cause notice, requirement for site investigation, clean up notice or site management plan).	☐ Yes ☒ No
	A notice under section 369C(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which an environmental enforcement order applies).	☐ Yes ☒ No
	A notice under section 347(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which a prescribed transitional environmental program applies).	☐ Yes ☒ No
Trees	There is a tree order or application under the <i>Neighbourhood Disputes (Dividing Fences and Trees) Act 2011</i> affecting the property. If Yes , a copy of the order or application must be given by the seller.	☐ Yes ☒ No
Heritage	The property is affected by the <i>Queensland Heritage Act 1992</i> or is included in the World Heritage List under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> (Cwlth).	☐ Yes ☒ No
Flooding	Information about whether the property is affected by flooding or another natural hazard or within a natural hazard overlay can be obtained from the relevant local government and you should make your own enquires. Flood information for the property may also be available at the FloodCheck Queensland portal or the Australian Flood Risk Information portal.	
Vegetation, habitats and protected plants	Information about vegetation clearing, koala habitats and other restrictions on development of the land that may apply can be obtained from the relevant State government agency.	

Part 4 – Buildings and structures

WARNING TO BUYER – The seller does not warrant the structural soundness of the buildings or improvements on the property, or that the buildings on the property have the required approval, or that there is no pest infestation affecting the property. You should engage a licensed building inspector or an appropriately qualified engineer, builder or pest inspector to inspect the property and provide a report and also undertake searches to determine whether buildings and improvements on the property have the required approvals.

Swimming pool	There is a relevant pool for the property. If a community titles scheme or a BUGTA scheme – a shared pool is located in the scheme. Pool compliance certificate is given. OR Notice of no pool safety certificate is given	☐ Yes ☐ Yes ☐ Yes ☐ Yes	☒ No ☒ No ☒ No ☒ No
Unlicensed building work under owner builder permit	Building work was carried out on the property under an owner builder permit in the last 6 years. <i>A notice under section 47 of the Queensland Building and Construction Commission Act 1991 must be given by the seller and you may be required to sign the notice and return it to the seller prior to signing the contract.</i>	☐ Yes	☒ No
Notices and orders	There is an unsatisfied show cause notice or enforcement notice under the <i>Building Act 1975</i>, section 246AG, 247 or 248 or under the <i>Planning Act 2016</i>, section 167 or 168. The seller has been given a notice or order, that remains in effect, from a local, State or Commonwealth government, a court or tribunal, or other competent authority, requiring work to be done or money to be spent in relation to the If Yes, a copy of the notice or order must be given by the seller.	☐ Yes ☐ Yes	☒ No ☒ No
Building Energy Efficiency Certificate	If the property is a commercial office building of more than 1,000m², a Building Energy Efficiency Certificate is available on the Building Energy Efficiency Register.		
Asbestos	The seller does not warrant whether asbestos is present within buildings or improvements on the property. Buildings or improvements built before 1990 may contain asbestos. Asbestos containing materials (ACM) may have been used up until the early 2000s. Asbestos or ACM may become dangerous when damaged, disturbed, or deteriorating. Information about asbestos is available at the Queensland Government Asbestos Website (asbestos.qld.gov.au) including common locations of asbestos and other practical guidance for homeowners.		

Part 5 – Rates and services

WARNING TO BUYER – The amount of charges imposed on you may be different to the amount imposed on the seller.

Rates	Whichever of the following applies—
	The total amount payable* for all rates and charges (without any discount) for the property as stated in the most recent rate notice is:
	Amount: \$548.82 Date Range: 01.04.2026 - 30.06.2026
	OR
	The property is currently a rates exempt lot. ** ☐
	OR
	The property is not rates exempt but no separate assessment of rates is issued by a local government for the property. ☐

*Concessions: A local government may grant a concession for rates. The concession will not pass to you as buyer unless you meet the criteria in section 120 of the *Local Government Regulation 2012* or section 112 of the *City of Brisbane Regulation 2012*.

** An exemption for rates applies to particular entities. The exemption will not pass to you as buyer unless you meet the criteria in section 93 of the *Local Government Act 2009* or section 95 of the *City of Brisbane Act 2010*.

Water	Whichever of the following applies—
	The total amount payable as charges for water services for the property as indicated in the most recent water services notice* is:
	Amount: \$394.52 Date Range: 03.02.2026 - 04.05.2026
	OR
	There is no separate water services notice issued for the lot; however, an estimate of the total amount payable for water services is:
	Amount: Not applicable Date Range: Not applicable

* A water services notices means a notice of water charges issued by a water service provider under the *Water Supply (Safety and Reliability) Act 2008*.

Part 6 – Community titles schemes and BUGTA schemes

(If the property is part of a community titles scheme or a BUGTA scheme this Part must be completed)

WARNING TO BUYER – If the property is part of a community titles scheme or a BUGTA scheme and you purchase the property, you will become a member of the body corporate for the scheme with the right to participate in significant decisions about the scheme and you will be required to pay contributions towards the body corporate’s expenses in managing the scheme. You will also be required to comply with the by-laws. By-laws will regulate your use of common property and the lot.
For more information about living in a body corporate and your rights and obligations, contact the Office of the Commissioner for Body Corporate and Community Management.

Body Corporate and Community Management Act 1997	The property is included in a community titles scheme. (If Yes, complete the information below)	☒ Yes	☐ No
Community Management Statement	A copy of the most recent community management statement for the scheme as recorded under the <i>Land Title Act 1994</i> or another Act is given to the buyer. Note —If the property is part of a community titles scheme, the community management statement for the scheme contains important information about the rights and obligations of owners of lots in the scheme including matters such as lot entitlements, by-laws and exclusive use areas.	☒ Yes	
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the Body Corporate and Community Management Act 1997, section 205(4) is given to the buyer. If No — An explanatory statement is given to the buyer that states: » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 6 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot.	☒ Yes ☐ Yes	☐ No
Statutory Warranties	Statutory Warranties —If you enter into a contract, you will have implied warranties under the <i>Body Corporate and Community Management Act 1997</i> relating to matters such as latent or patent defects in common property or body corporate assets; any actual, expected or contingent financial liabilities that are not part of the normal operating costs; and any circumstances in relation to the affairs of the body corporate that will materially prejudice you as owner of the property. There will be further disclosure about warranties in the contract.		
Building Units and Group Titles Act 1980	The property is included in a BUGTA scheme (If Yes, complete the information below)	☐ Yes	☒ No
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the <i>Building Units and Group Titles Act 1980</i> , section 40AA(1) is given to the buyer. If No — An explanatory statement is given to the buyer that states: » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 7 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot. Note —If the property is part of a BUGTA scheme, you will be subject to by-laws approved by the body corporate and other by-laws that regulate your use of the property and common property.	☐ Yes ☐ Yes	☒ No

Signatures – SELLER

BEN RUSSELL DAVIS
Signature of seller
BEN RUSSELL DAVIS
Name of seller
28/7/2026 | 12:33 PM AEST
Date

Signature of seller

Name of seller

Date

Signatures – BUYER

By signing this disclosure statement the buyer acknowledges receipt of this disclosure statement before entering into a contract with the seller for the sale of the lot.

Signature of buyer

Name of buyer

Date

Signature of buyer

Name of buyer

Date



Current Title Search

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Title Reference:	50955344	Search Date:	24/07/2026 11:22
Date Title Created:	11/07/2014	Request No:	57003981
Previous Title:	11382113		

ESTATE AND LAND

Estate in Fee Simple

LOT 16 SURVEY PLAN 257677

Local Government: BRISBANE CITY

COMMUNITY MANAGEMENT STATEMENT 46207

REGISTERED OWNER

Dealing No: 716014270 12/09/2014

BEN RUSSELL DAVIS

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 19515043 (POR 195)
2. MORTGAGE No 721336954 13/12/2021 at 14:36
COMMONWEALTH BANK OF AUSTRALIA A.C.N. 123 123 124

ADMINISTRATIVE ADVICES

NIL

UNREGISTERED DEALINGS

NIL

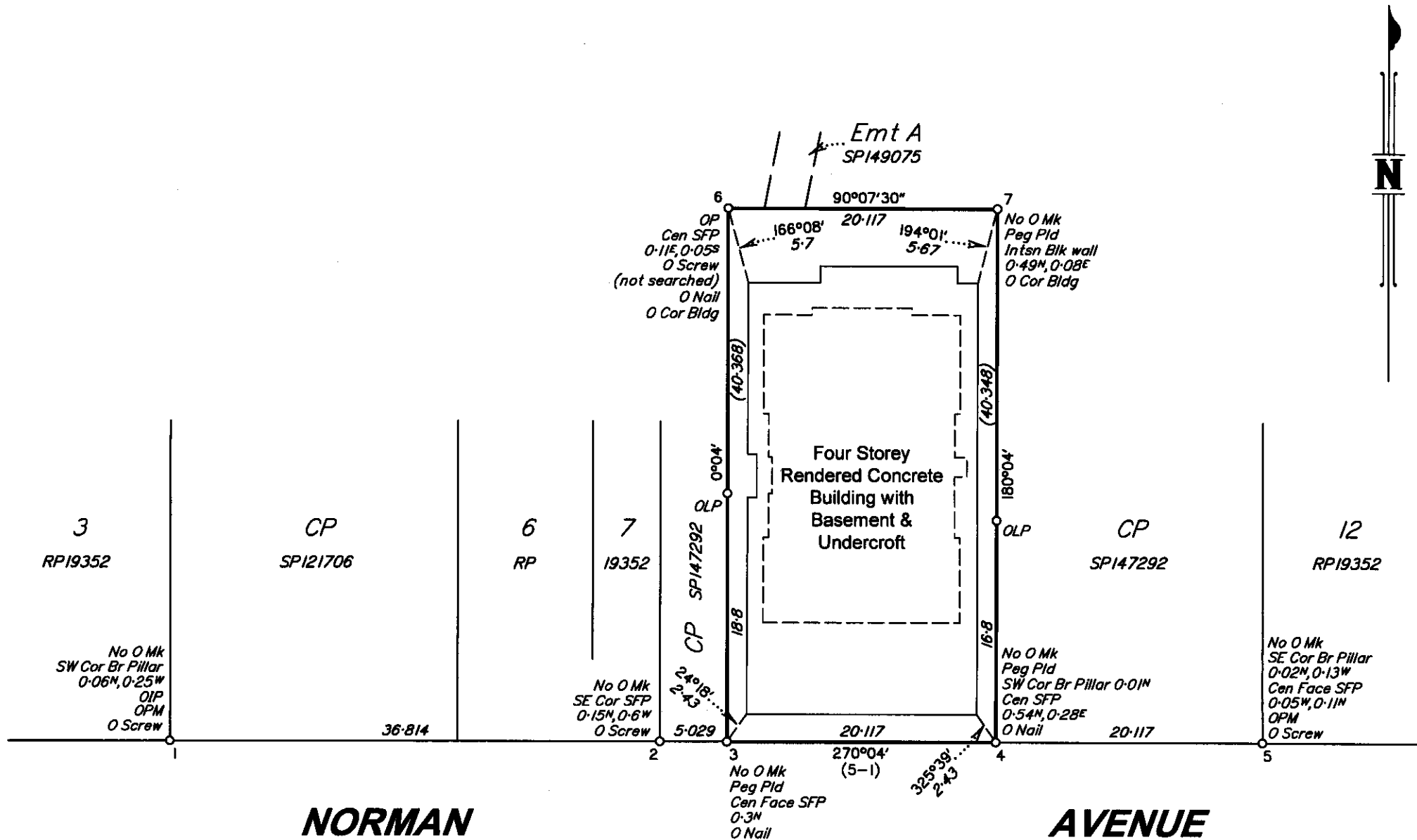
Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

Land Title Act 1994 ; Land Act 1994
Form 21 Version 3

SURVEY PLAN

Sheet 1 of 2



REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	OIP	2/RP169172	251°17'	3.105
1	O Screw in Kb	1/IS250684	252°08'	16.8
2	O Screw in Kb	2/IS250684	165°15'	5.491
3	O Nail in Conc	3/IS250684	238°30'	2.314
4	O Nail in Conc	4/IS250684	178°23'	1.682
5	O Screw in Kb	4/SPI21706	106°47'	18.14
6	O Screw in Conc	4/SPI49075	53°14'	3.404
6	O Nail in Conc	6/IS250684	351°19'	3.44
6	O Cor Bldg	SPI47292	62°18'30"	9.173
7	O Cor Bldg	7/IS250684	59°45'	2.94

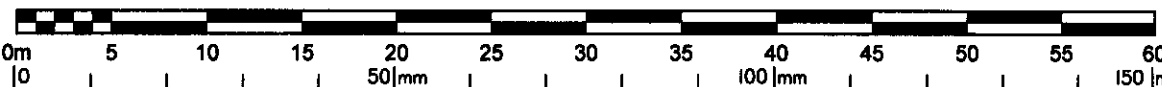
(not searched)

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
1-OPM	1/SPI21706	226°04'	7.68	119274	
5-OPM	5/IS163509	172°29'10"	16.73	119275	

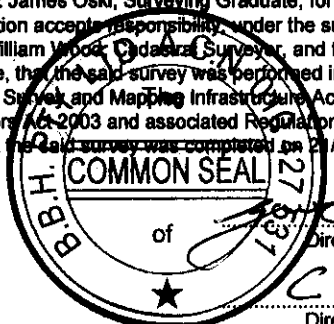
Area of Base Parcel
812 m²

Scale 1:400



State copyright reserved.

B.B.H. PTY. LTD. (ACN 010 427 531) hereby certify that the land comprised in this plan was surveyed by the corporation, by Mateusz James Oski, Surveying Graduate, for whose work the corporation accepts responsibility, under the supervision of Craig William Wood, Chartered Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 21/05/2014.



Date 23.6.2014

**Plan of Lots 1-18
& Common Property**

Cancelling Lots 8 & 9 on RP19352

LOCAL GOVERNMENT:
BRISBANE CITY COUNCIL

LOCALITY:
LUTWYCHE

Meridian: IS250684

Survey Records: No

Scale: **1:400**

Format: **BUILDING**



SP257677

Bennett + Bennett 122358PPL C.DWG DJ 19/08/2012, Rev C 29/5/2014 MCH

715888022**BE 400 NT****\$1876.60**
10/07/2014 15:22**WARNING : Folded or Mutilated Plans will not be accepted.**
Plans may be rolled.
Information may not be placed in the outer margins.

5. Lodged by

*Aliens**BEO24A*

(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

I/We **JONIC PROPERTIES NO 2 PTY LTD****A.C.N. 156 434 543****TRUSTEE UNDER INSTRUMENT 714891102**

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Signature of *Registered Owners *Lessees

*Jonic Properties No 2 Pty Ltd
as trustee under instrument 714891102
by its attorney Leslie Anthony
Davies under power of
attorney 715778727*

* Rule out whichever is inapplicable

2. Planning Body Approval.

* **BRISBANE CITY COUNCIL**

hereby approves this plan in accordance with the:

% **SUSTAINABLE PLANNING ACT 2009**Dated this *9th* day of *July, 2014**James
Helen Nevin
Dulgate* #* Insert the name of the Planning Body.
Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement:

CMS Number: **46207**Name: **THE AVENUE LUTWYCHE**

4. References:

Dept File:

Local Govt:

Surveyor: **12235**

6. Existing

Title Reference

Description

New Lots

Created

Road

Secondary Interests

11382113

Lot 8 on RP19352

2-4, 7-9, 12, 13, 16, 17 & CP

11382113

Lot 9 on RP19352

1, 4-6, 9-11, 14, 15, 18 & CP

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
715498822	1-18	
715571538	1-18	

1-18 & CP

Por 195

Lots

Orig

7. Orig Grant Allocation:

8. Map Reference:

9543-33424

9. Parish:

ENOGGERA

10. County:

STANLEY

11. Passed & Endorsed:

By: **B.B.H PTY LTD ACN 010 427 531**Date: *23/6/14*Signed: *Charles*Designation: **Liaison Officer**

Development Approval: 23/11/2012

12. Building Format Plans only.

I certify that:

* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;

~~* Part of the building shown on this plan encroaches onto adjoining lots and road~~*Charles* *23/6/14*
Cadastral Surveyor/Director * Date
*delete words not required

13. Lodgement Fees:

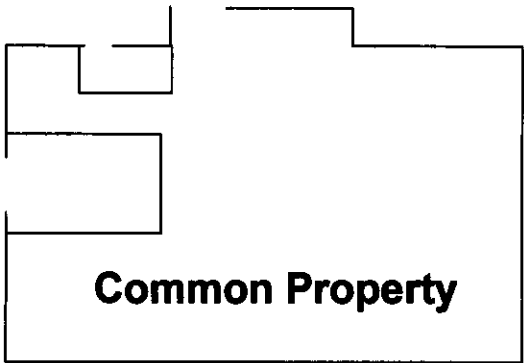
Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

14. Insert Plan Number

SP257677

LEVEL A

(Undercroft Level)
Scale 1:250

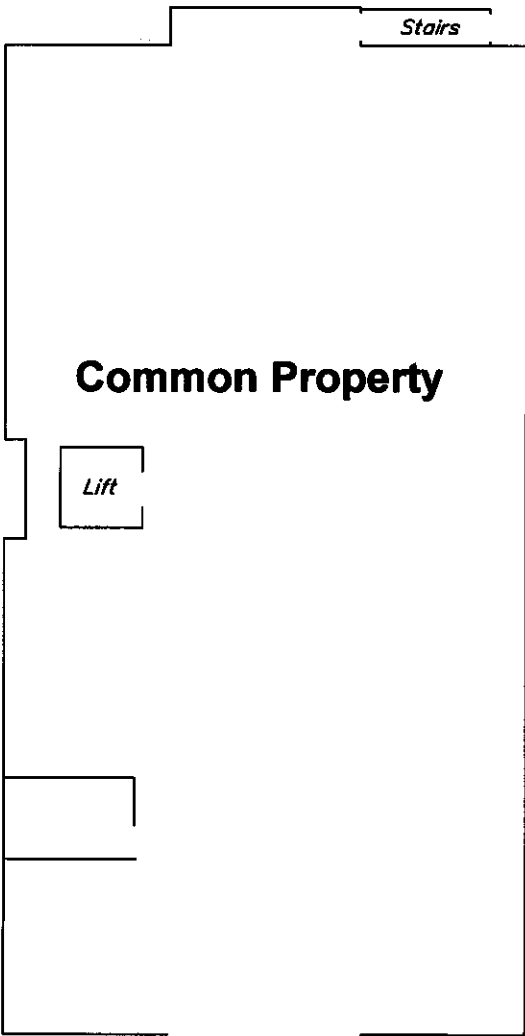


CP

Common Property

LEVEL B

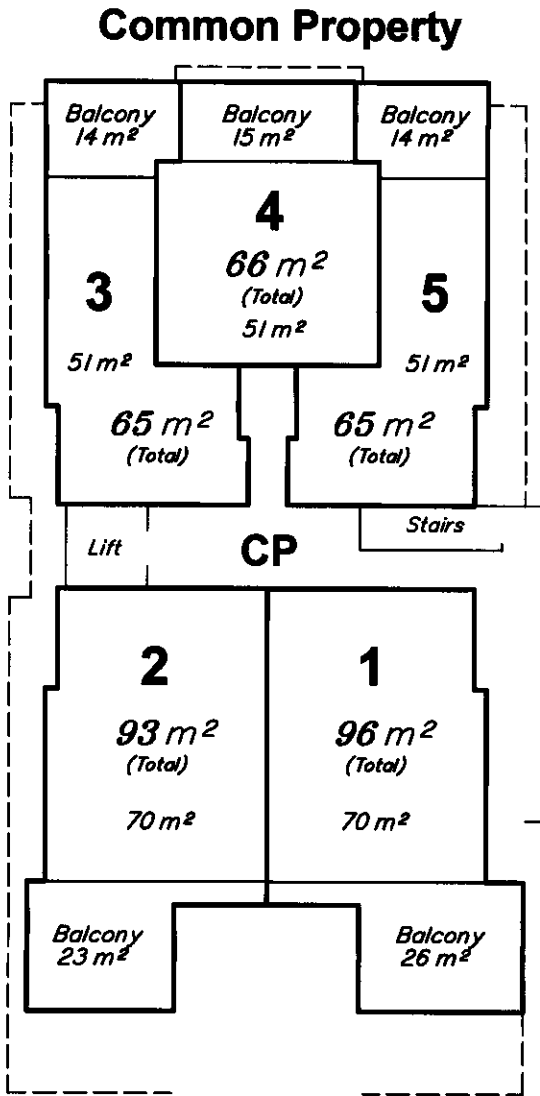
(Basement Level 1)
Scale 1:250



Common Property

LEVEL C

(Level 1)
Scale 1:250



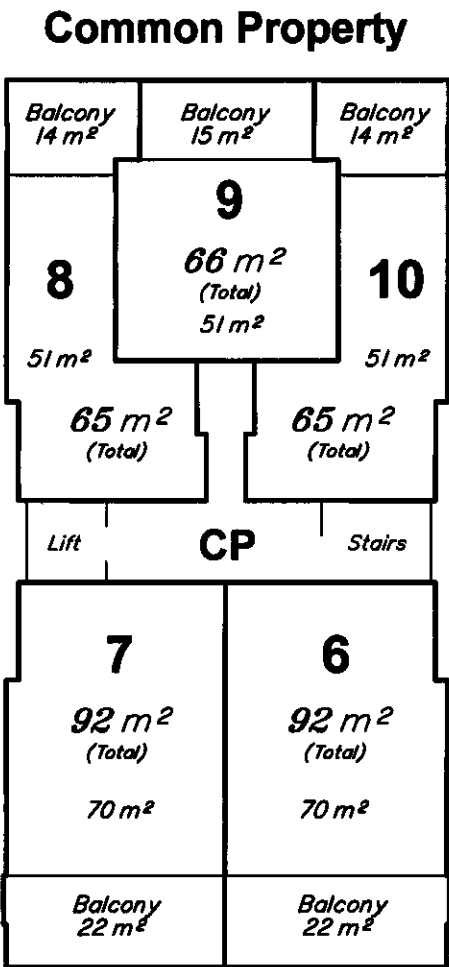
Common Property

Common Property

Denotes line of level below

LEVEL D

(Level 2)
Scale 1:250

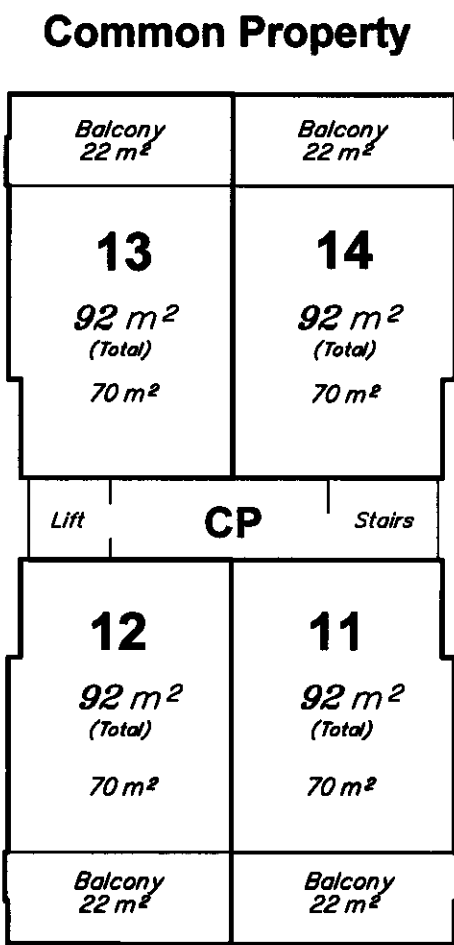


Common Property

Common Property

LEVEL E

(Level 3)
Scale 1:250

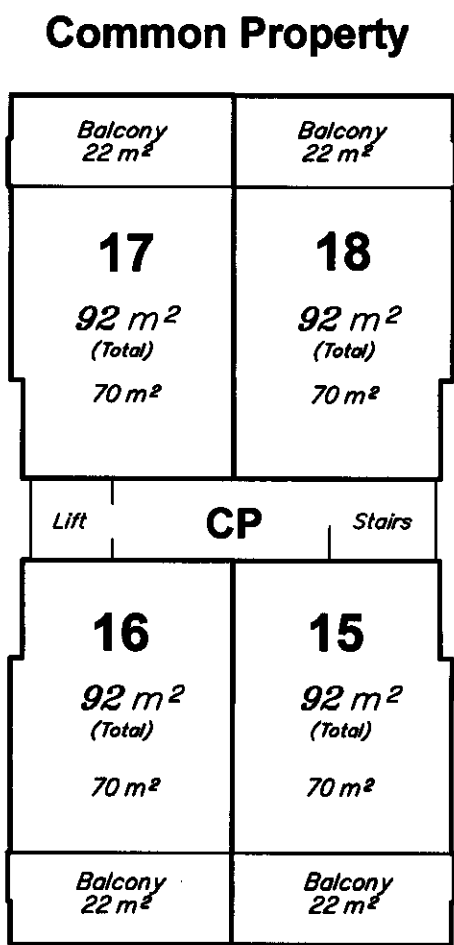


Common Property

Common Property

LEVEL F

(Level 4)
Scale 1:250

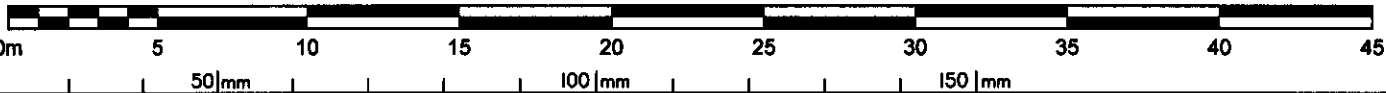


Common Property

Common Property

Scale 1:250

State copyright reserved.



Insert Plan Number SP257677

APPENDIX: DETAILS OF STATUTORY ENCUMBRANCES

THE AVENUE LUTWYCHE 47 NORMAN AVENUE LUTWYCHE

BEFORE YOU DIG AUSTRALIA (BYDA) REPORT

An online search via BYDA has been undertaken for the property the subject of this seller disclosure statement. The encumbrances are described in the Statutory Encumbrances Summary. Plans from each provider have also been included. It should be noted that the Plans are indicitive only in relation to the exact location of the service.

BYDA report results summary

The BYDA report has returned results for the below statutory encumbrances. Details are as described in the report itself:

APA Group Gas Networks - As a gas and electricity infrastructure provider, has a statutory encumbrance over the property where their infrastructure (like pipelines or power lines) is located.

These encumbrances allow APA Group to access and maintain their assets on private land, even if not explicitly registered on the property

Brisbane City Council - Stormwater drainage and related infrastructure owned by the council are located within the property boundaries. These assets must remain unobstructed to ensure service delivery and maintenance access.

Energex - Underground high-voltage and low-voltage electrical infrastructure is located within the property boundaries. These assets form part of the electricity distribution network and must remain accessible for operation, maintenance and upgrade activities.

NBN Co - Data & Telecommunications infrastructure is situated within the property. This includes underground fibre optic cabling and associated pits that provide services to the premises

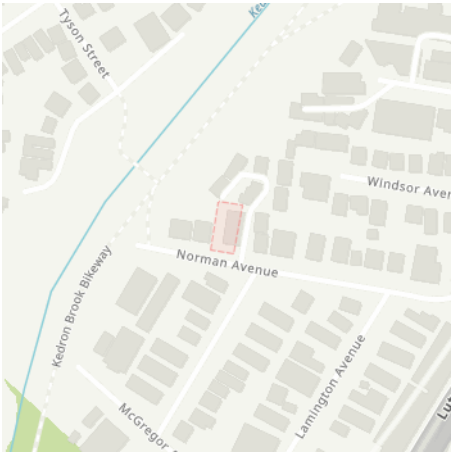
Urban Utilities - Potable water supply pipelines recycled water networks, and sewer mains owned by Urban Utilities are situated within the property boundaries. These assets are critical to service delivery and must remain accessible for inspection, maintenance and repair.

Telstra Qld South East - Data & Telecommunications infrastructure is situated within the property. This includes underground fibre optic cabling and associated pits that provide services to the premises

Job ID 53780959
Order 9675



[Review responses online](#) ↗



Received 6 of 6 responses
All responses received

47 Norman Av, Lutwyche QLD 4030

Job dates
25/07/2026 → 31/08/2026

These plans expire on
21 Aug 2026

Lodged by
Jan Davies

Authority	Status	Page
✉ BYDA Confirmation		2
🏠 APA Group Gas Networks (70710)	Received	4
🏠 Brisbane City Council	Received	56
🏠 Energex QLD	Received	59
🏠 NBN Co Qld	Received	102
🏠 Queensland Urban Utilities	Received	113
🏠 Telstra QLD South East	Received	118

Job No 53780959



byda.com.au

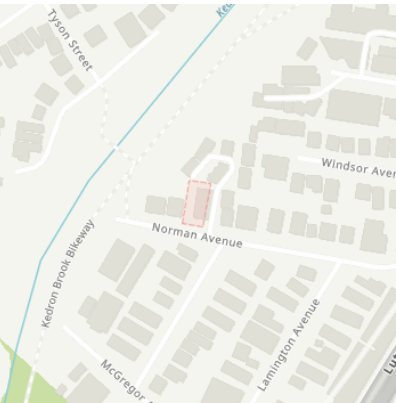
Contact Details

Contact	Contact number	Company	Enquirer ID
Jan Davies	0408 924 549	Search Assist Qld	3715256
Email		Address	
admin@strataassistqld.com.au		PO Box 10623 Adelaide Street Brisbane QLD 4000	

Job Site and Enquiry Details

WARNING: The map below only displays the location of the proposed job site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.

Enquiry date	Start date	End date	On behalf of	Job purpose	Locations	Onsite activities
24/07/2026	25/07/2026	31/08/2026	Private	Design	Private	Conveyancing



- Check that the location of the job site is correct. If not, you must submit a new enquiry.
- If the scope of works change or plan validity dates expire, you must submit a new enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you don't understand the plans or how to proceed safely, please contact the relevant asset owners.

User Reference	Address	Notes/description
Order 9675	47 Norman Av Lutwyche QLD 4030	-

Your Responsibility and Duty of Care

- Lodging an enquiry does not authorise project commencement.** Before starting work, you must obtain all necessary information from all affected asset owners.
- If you don't receive plans within 2 business days, contact the asset owner & quote their sequence number.
- Always follow the 5Ps of Safe Excavation (page 2), and locate assets before commencing work.
- Ensure you comply with State legislative requirements for Duty of Care and safe digging.
- If you damage an underground asset, you MUST advise the asset owner immediately.
- By using the BYDA service, you agree to the [Privacy Policy](#) and [Term of Use](#).
- For more information on safe digging practices, visit www.byda.com.au

Asset Owner Details

Below is a list of asset owners with underground infrastructure in and around your job site. It is your responsibility to identify the presence of these assets. Plans issued by Members are indicative only unless specified otherwise. Note: not all asset owners are registered with BYDA. You must contact asset owners not listed here directly.

Referral ID (Seq. no)	Authority Name	Phone	Status
276661592	APA Group Gas Networks (70710)	1800 085 628	NOTIFIED
276661588	Brisbane City Council	(07) 3403 8888	NOTIFIED
276661590	Energex QLD	13 12 53	NOTIFIED
276661587	NBN Co Qld	1800 687 626	NOTIFIED
276661589	Queensland Urban Utilities	13 26 57	NOTIFIED
276661591	Telstra QLD South East	1800 653 935	NOTIFIED

END OF UTILITIES LIST

Job ID 53780959

APA Group Gas Networks (70710)

Referral

276661592

Member Phone

1800 085 628

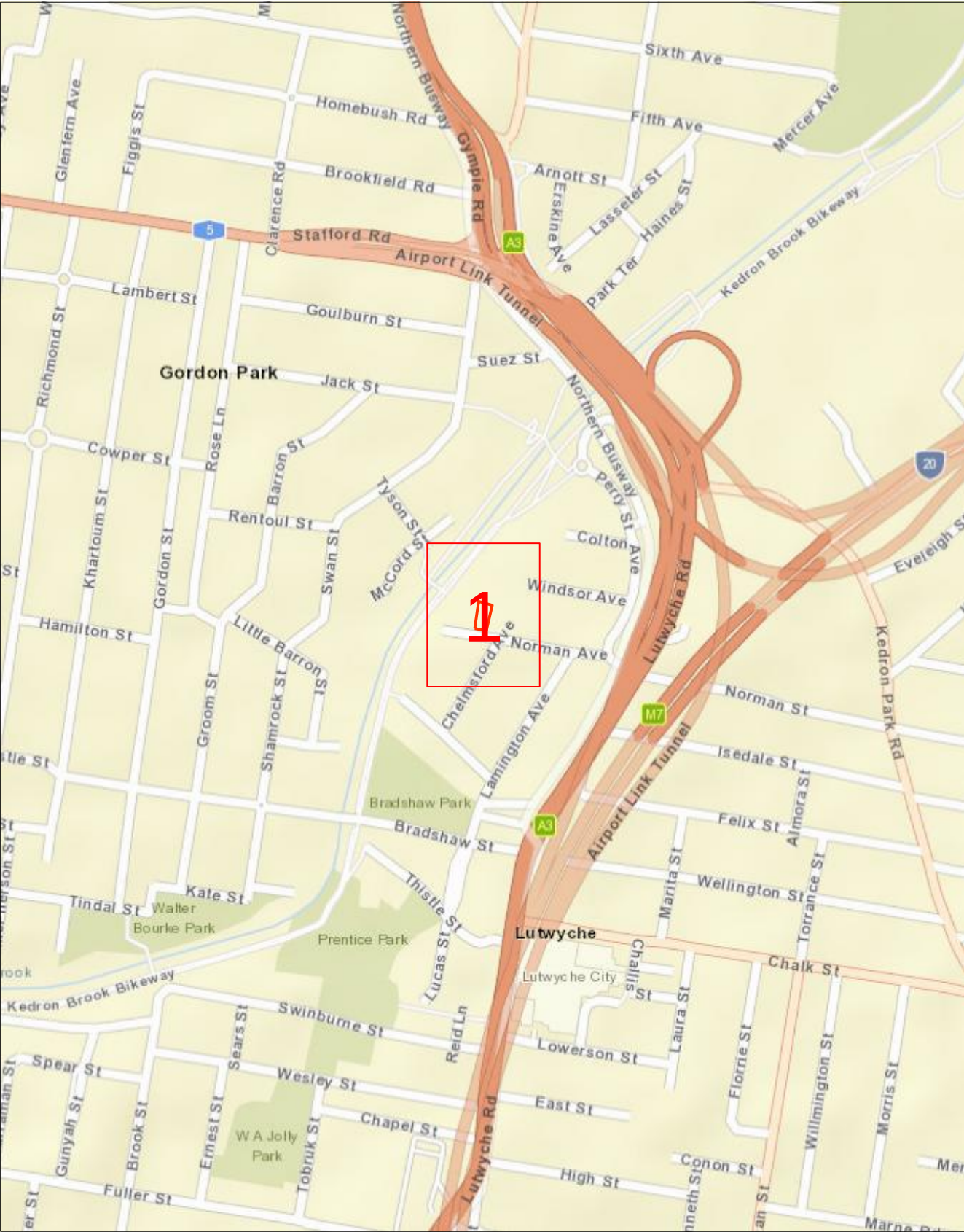
Responses from this member

Response received Fri 24 Jul 2026 11.43am

File name	Page
Response Body	5
276661592.pdf	6
400-STD-AM-0001_2 Guidelines for Works Near Existing Gas Assets.pdf	15

Site 47 Norman Av
Address: Lutwyche
QLD 4030

Sequence 276661592
Number:



Scale 1: 6000

Map Sources: Esri, Garmin, HERE, FAO, NOAA, USGS,
© OpenStreetMap contributors, and the GIS User Community



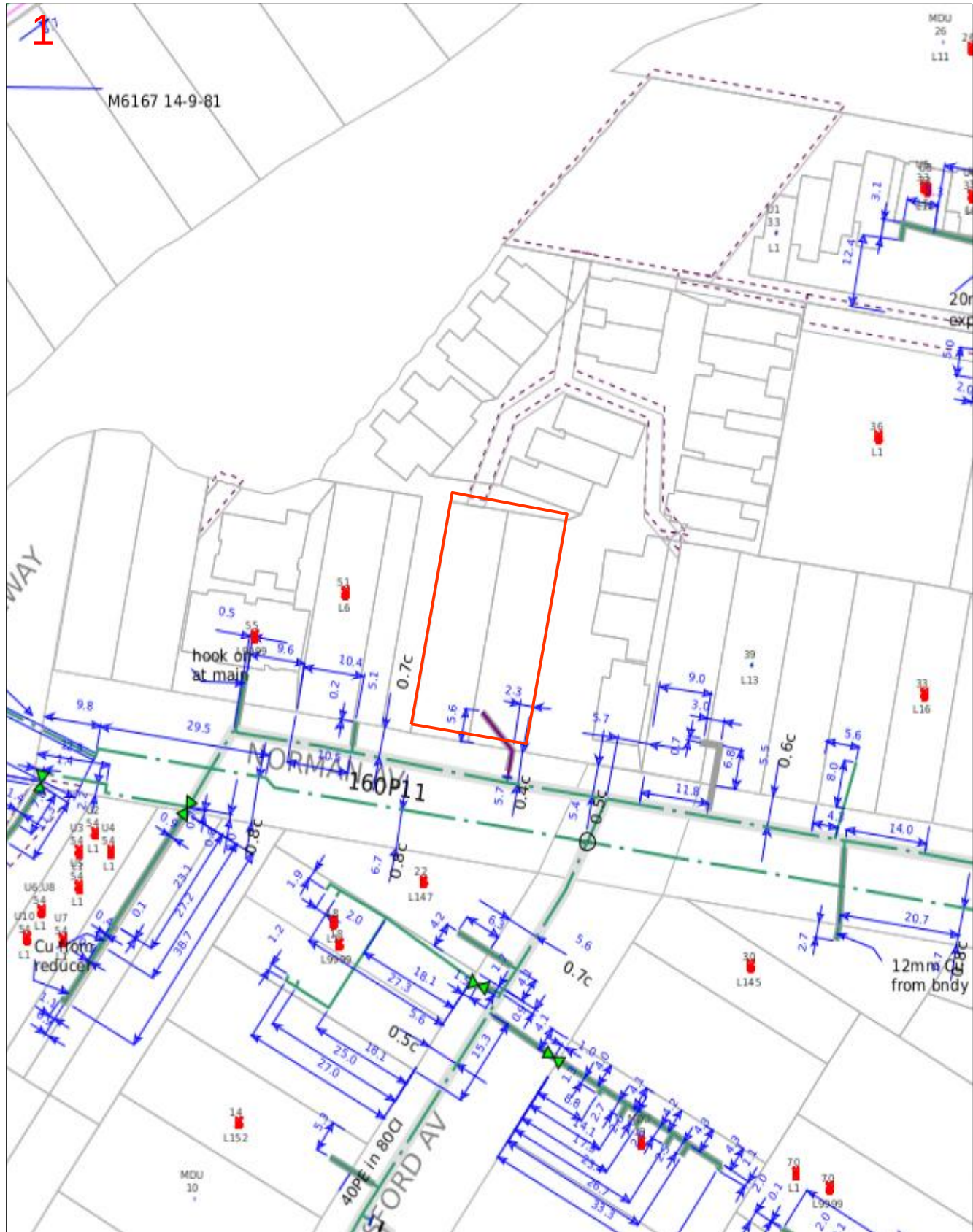
Enquiry Area

Map Key Area



Site 47 Norman Av
Address: Lutwyche
 QLD 4030

Sequence 276661592
Number:



Scale 1: 700

Map Sources: Esri, Garmin, HERE, FAO, NOAA, USGS,
 © OpenStreetMap contributors, and the GIS User Community



Enquiry Area

Map Key Area



Legend

PIPE LEGEND: GAS TYPE AND PRESSURE

	Low pressure	Medium pressure	High pressure	Transmission
Natural gas				
Natural gas – proposed				
LPG (yellow dash)	not applicable			not applicable
Hydrogen blended (aqua dash)	not applicable			not applicable

PIPE LEGEND: SPECIAL DESIGNATION

	Low pressure	Medium pressure	High pressure	Transmission
Critical main (yellow highlight)				
Casing (grey highlight)				not applicable

These designations typically apply to any pipe type and pressure

PIPE LEGEND: OTHER STATUS

Abandoned pipe	
Idle or inactive pipe	

ABBREVIATION

BoK	Back of kerb	FoK	Front of kerb
C	Depth of cover	NTI	Not tied in
CP	Cathodic protection		

OBJECT SYMBOLS

Valve		CP test station		Syphon	
Buried valve		CP anode		Marker	
Regulator station		CP bond wire		Part service ^A	
Gas connected property		CP rectifier terminal			

^AA live gas service terminated underground within the property boundary, available for future extension to the gas meter.

PIPE CODE AND MATERIAL

P*	Polyethylene (PE)	CU	Copper
P3	Polyvinyl chloride (PVC)	N2	Nylon
S*	Steel	W2	Wrought galv iron
C*	Cast iron	W3	PE coat wrought galv iron

INTERPRETATION EXAMPLE

	High pressure, 40 mm polyethylene in an 80 mm cast iron casing
	Medium pressure, 63 mm steel

Pipe diameter in millimetres is shown before pipe code.
40P6 = 40 mm nominal diameter

This map was created in colour and should be printed in colour

Job ID 53780959

Brisbane City Council

Referral

276661588

Member Phone

(07) 3403 8888

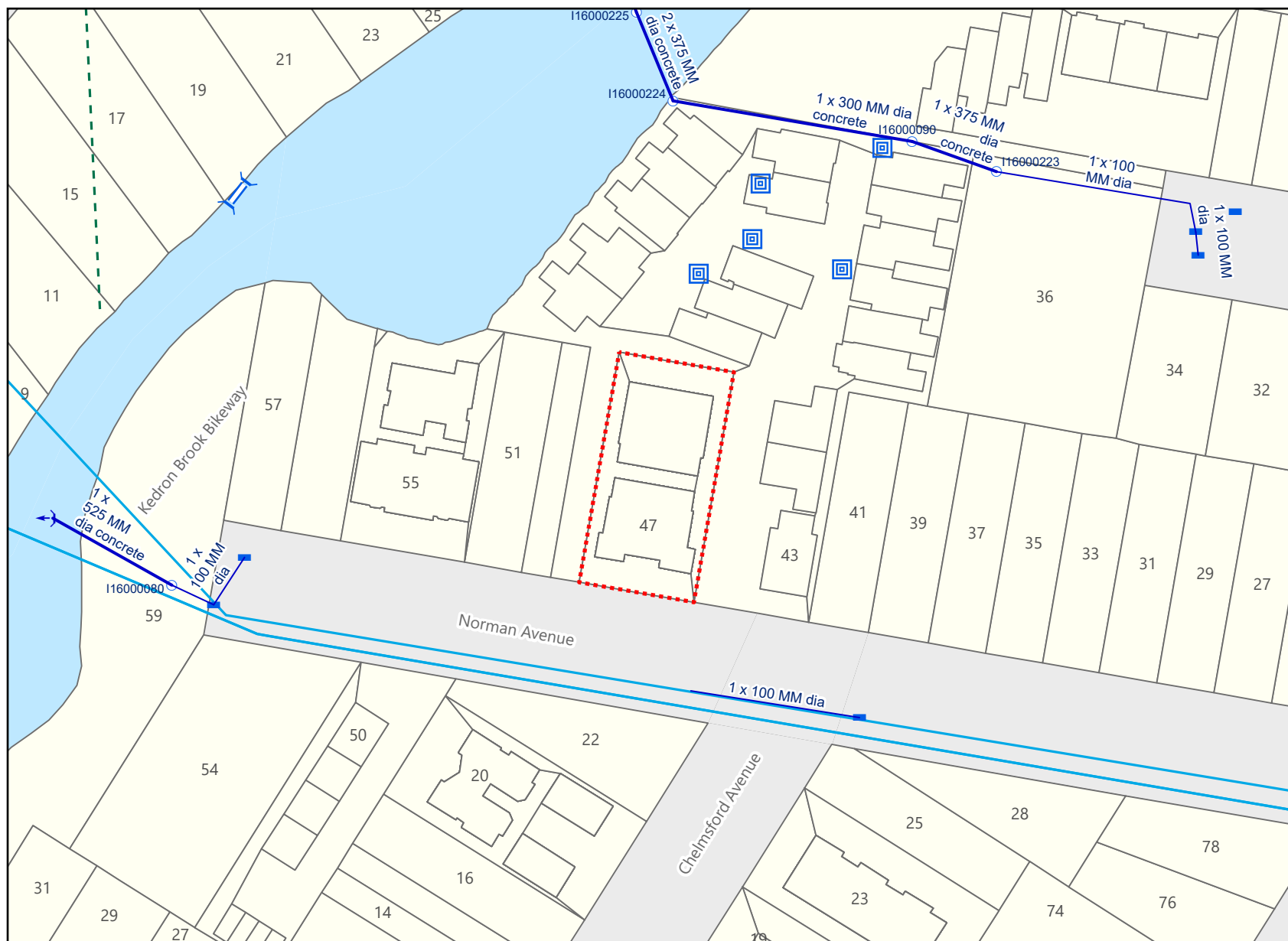
Responses from this member

Response received Fri 24 Jul 2026 11.44am

File name	Page
Response Body	57
ASSET 276661588.pdf	58



Job # 53780959
Seq # 276661588
 Provider: Brisbane City Council
 Telephone: (07) 3403 8888



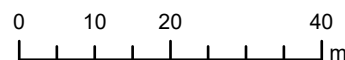
- Legend**
- BYDA Enquiry
 - Stormwater Network**
 - Stormwater Drain
 - Stormwater Gully / Roofwater Connection
 - Stormwater Maintenance Hole
 - Stormwater Gully Pit
 - ≡ Stormwater Culvert
 - ↪ Pipe End Outlet
 - Stormwater Treatment Asset - Point
 - BCC Cable Network**
 - Fibre Optic Cable Location
 - - - Flood Telemetry Conduit

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 Cadastre and Street Names © 2020 State of Queensland (Department of Natural Resources, Mines and Energy)

Caution: This map may contain the locations of abandoned underground asbestos pipes. Council gives no warranty to the completeness or accuracy of these records. Appropriate care needs to be taken in all cases.

In an emergency contact Brisbane City Council on 07 3403 8888
 24/07/26 (valid for 30 days)



Scale 1:1,000



Plans generated by
 SmarterWX™ Automate

Job ID 53780959

Energex QLD

Referral

276661590

Member Phone

13 12 53

Responses from this member

Response received Fri 24 Jul 2026 11.45am

File name	Page
Response Body	60
276661590 - Energex Plan.pdf	63
Energex BYDA Terms and Conditions.pdf	66
Working Near Overhead and Underground Electric Lines.pdf	71



BYDA

Sequence: 276661590
Date: 24/07/2026

Scale: 1:1025
Tile No: OVERVIEW

CAUTION - HIGH
VOLTAGE

LEGEND

- Substation
- Cable Marker
- Pit
- Pole
- Pillar
- LV Cable (up to 1kV)
- HV Cable (1kV - <33kV)
- HV Cable (33kV and over)
- Pit Boundary
- Planned Work Area

AS5488 Category "D" Plan



DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Energex nor Pelican Corp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



BYDA

Sequence: 276661590
Date: 24/07/2026

Scale: 1:500
Tile No: **Tile No: 1**

**CAUTION - HIGH
VOLTAGE**

LEGEND

- Substation
- Cable Marker
- Pit
- Pole
- Pillar
- LV Cable (up to 1kV)
- HV Cable (1kV - <33kV)
- HV Cable (33kV and over)
- Pit Boundary
- Planned Work Area

AS5488 Category "D" Plan



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BYDA

Sequence: 276661590
Date: 24/07/2026
Scale: 1:500
Tile No: **Tile No: 2**

CAUTION - HIGH VOLTAGE

LEGEND

- Substation
- Cable Marker
- Pit
- Pole
- Pillar
- LV Cable (up to 1kV)
- HV Cable (1kV - <33kV)
- HV Cable (33kV and over)
- Pit Boundary
- Planned Work Area

AS5488 Category "D" Plan



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Job ID 53780959

NBN Co Qld

Referral

276661587

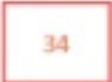
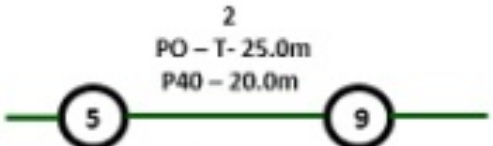
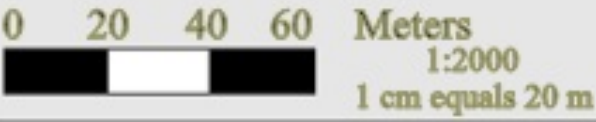
Member Phone

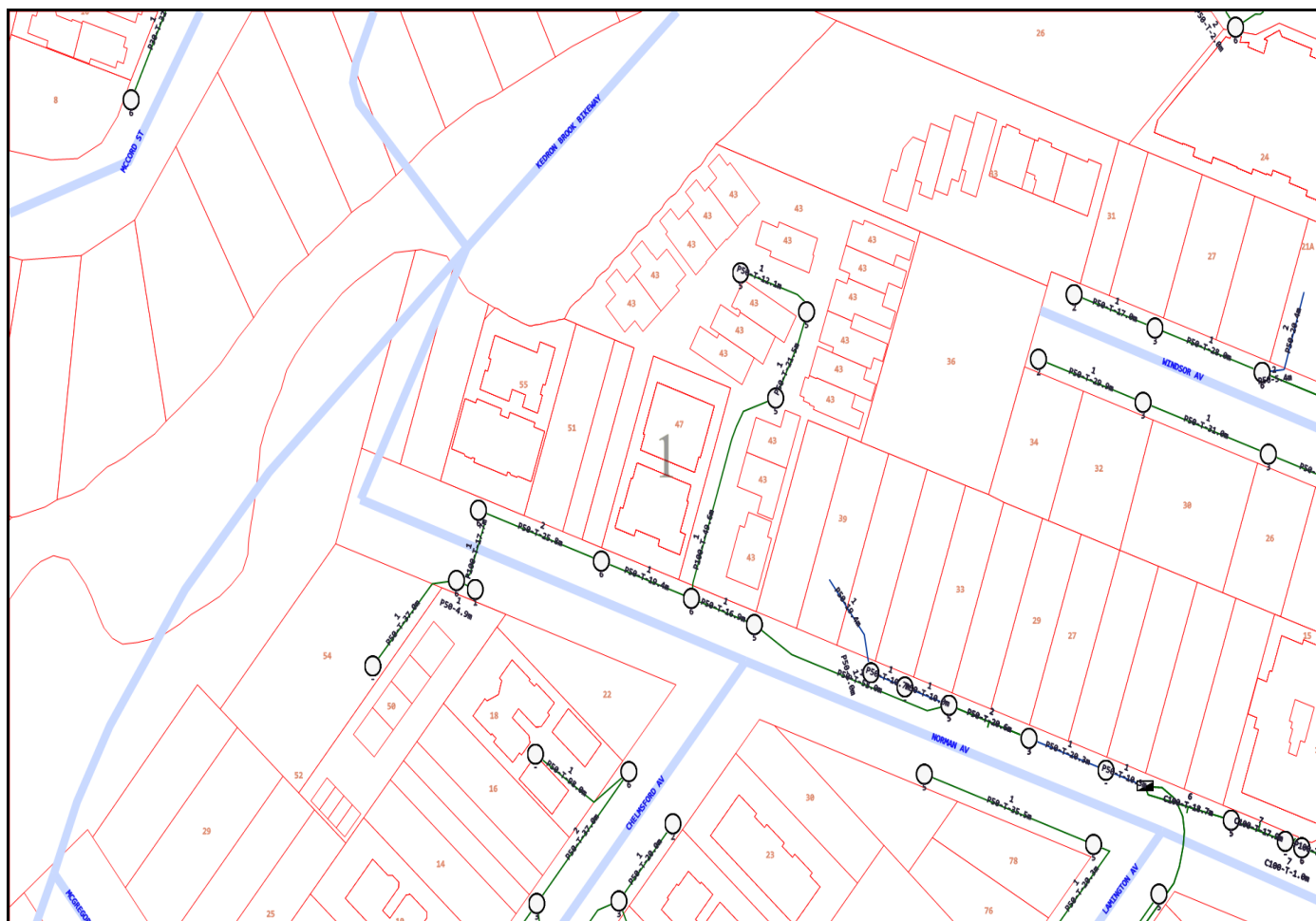
1800 687 626

Responses from this member

Response received Fri 24 Jul 2026 11.49am

File name	Page
Response Body	103
276661587_20260724_014827143770_1.pdf	104
4678_NBN_Dial_Before_You_Dig_Poster_20170517.pdf	107
Disclaimer_276661587_20260724_014827143770.pdf	109

	 LEGEND
	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	



Emergency Contacts

You must immediately report any damage to the **nbn**™ network that you are/become aware of. Notification may be by telephone - 1800 626 329.

Job ID 53780959

Queensland Urban Utilities

Referral
276661589

Member Phone
13 26 57

Responses from this member

Response received Fri 24 Jul 2026 11.44am

File name	Page
Response Body	114
276661589 - Urban Utilities Plan.pdf	116
Urban Utilities Important Information.pdf	117



GPO Box 2765
Brisbane QLD 4001

Date: 24 Jul 2026

Before You Dig Australia Response

Please DO NOT SEND A REPLY to this email as it has been automatically generated and replies are not monitored.

Dear Jan Davies

We appreciate your diligence in contacting the Before You Dig Australia service (**BYDA**) prior to engaging in work or activities which may affect the water and sewerage infrastructure of Urban Utilities.

Job Number:	53780959
Sequence Number:	276661589
Enquiry Date:	24/7/2026 11:43:00 am
Enquiry Location:	47 Norman Av Lutwyche QLD 4030

WARNING: When working in the vicinity of Urban Utilities' assets you have a legal *Duty of Care* that must be observed.

Our records indicate the presence of infrastructure owned by Urban Utilities within your nominated search area, as shown on the attached plan.

Please note that you may be liable for any loss or damage to our infrastructure which is caused by any works or activities which you undertake over or near such infrastructure. Additionally, your works or activities may conflict with other works scheduled in your nominated search area. To avoid any unnecessary impacts, before any undertaking you must obtain the following approvals:

- And/or a Urban Utilities Network Access Permit for self assessable works or activities that are within two metres of our infrastructure (refer to [Urban Utilities Network Access Permit Webpage](#))
- Either a Build Over Asset (BOA) Approval for assessable building works undertaken within specified distances of our infrastructure (refer to [DHPW BOA Factsheet](#))

We have provided additional information about your responsibilities in relation to our infrastructure in the Important Information sheet attached to this letter. By accessing BYDA to obtain our records about our infrastructure, you warrant that you have read the sheet and agree to the terms and conditions set out therein.

For further enquiries or assistance with interpretation of plans and search content please contact our BYDA Support Team by email networkaccess@urbanutilities.com.au. Alternatively, you can write to us at Urban Utilities, PO Box 2765, Brisbane QLD 4001.

Thank you for taking the time to consult the BYDA service.

Yours sincerely

Before You Dig Australia Support Team
Urban Utilities
networkaccess@urbanutilities.com.au

To best manage the risk of damage and liability, we recommend that you engage the services of a [BYDA Certified Locator](#)

Important Notice

This enquiry response, including any associated documentation, has been assessed and compiled from the information detailed within the BYDA enquiry outlined above. **Please ensure that the BYDA enquiry details and this response accurately reflect your proposed works.**

This response is intended for use only by the addressee. If you have received the enquiry response in error, please let us know by telephone and delete all copies; you are advised that copying, distributing, disclosing or otherwise acting in reliance on the response is expressly prohibited.

Disclaimer: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Urban Utilities nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

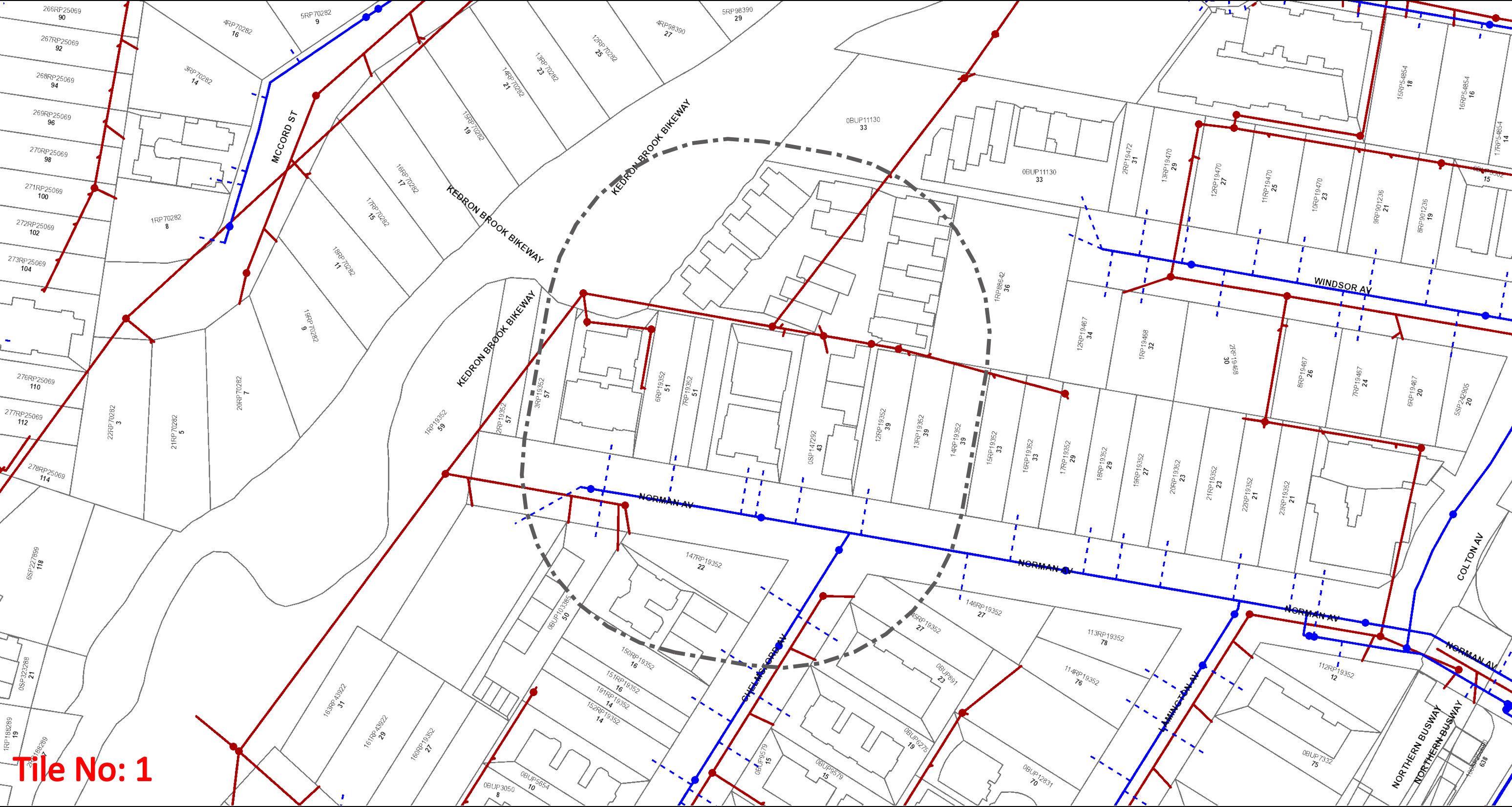
If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#).

PelicanCorp

Compiled with **TicketAccess** by PelicanCorp



Urban Utilities - Water, Recycled Water and Sewer Infrastructure



Tile No: 1



N

Map Scale
1:1000

Before You Dig Australia- Urban Utilities Water, Recycled Water and Sewer Infrastructure

BYDA Reference No: 276661589

Date BYDA Ref Received: 24/07/2026

Date BYDA Job to Commence: 25/07/2026

Date BYDA Map Produced: 24/07/2026

This Map is valid for 30 days

Produced By: Urban Utilities

Sewer

● Infrastructure

◆ Major Infrastructure

— Network Pipelines

▨ Network Structures

Water

● Infrastructure

◆ Major Infrastructure

— Network Pipelines

▨ Network Structures

--- Water Service (Indicative only)

Recycled Water

● Infrastructure

◆ Major Infrastructure

— Network Pipelines

▨ Network Structures

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The plans are indicative and approximate only and provided without warranties of any kind, express or implied including in relation to accuracy, completeness, correctness, currency or fitness for purpose.

Urban Utilities takes no responsibility and accepts no liability for any loss, damage, costs or liability that may be incurred by any person acting in reliance on the information provided on the plans.

This plan should be used as guide only. Any dimensions should be confirmed on site by the relevant authority.

Based on or contains data provided by the State of Queensland (Department of Natural Resources and Mines) [2020]. In consideration of the State permitting the use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws. © State of Queensland Department of Natural Resources and Mines [2020]

For further information, please call Urban Utilities on 13 26 57 (8am-6pm weekdays). Faults and emergencies 13 23 64 (24/7).

www.urbanutilities.com.au

ABN 86 673 835 011

Plans generated 24 Jul 2026 by PelicanCorp TicketAccess Software | www.pelicanCorp.com

AU.Urban Utilities - Response Plan.docx (2020)

Job ID 53780959

Telstra QLD South East

Referral

276661591

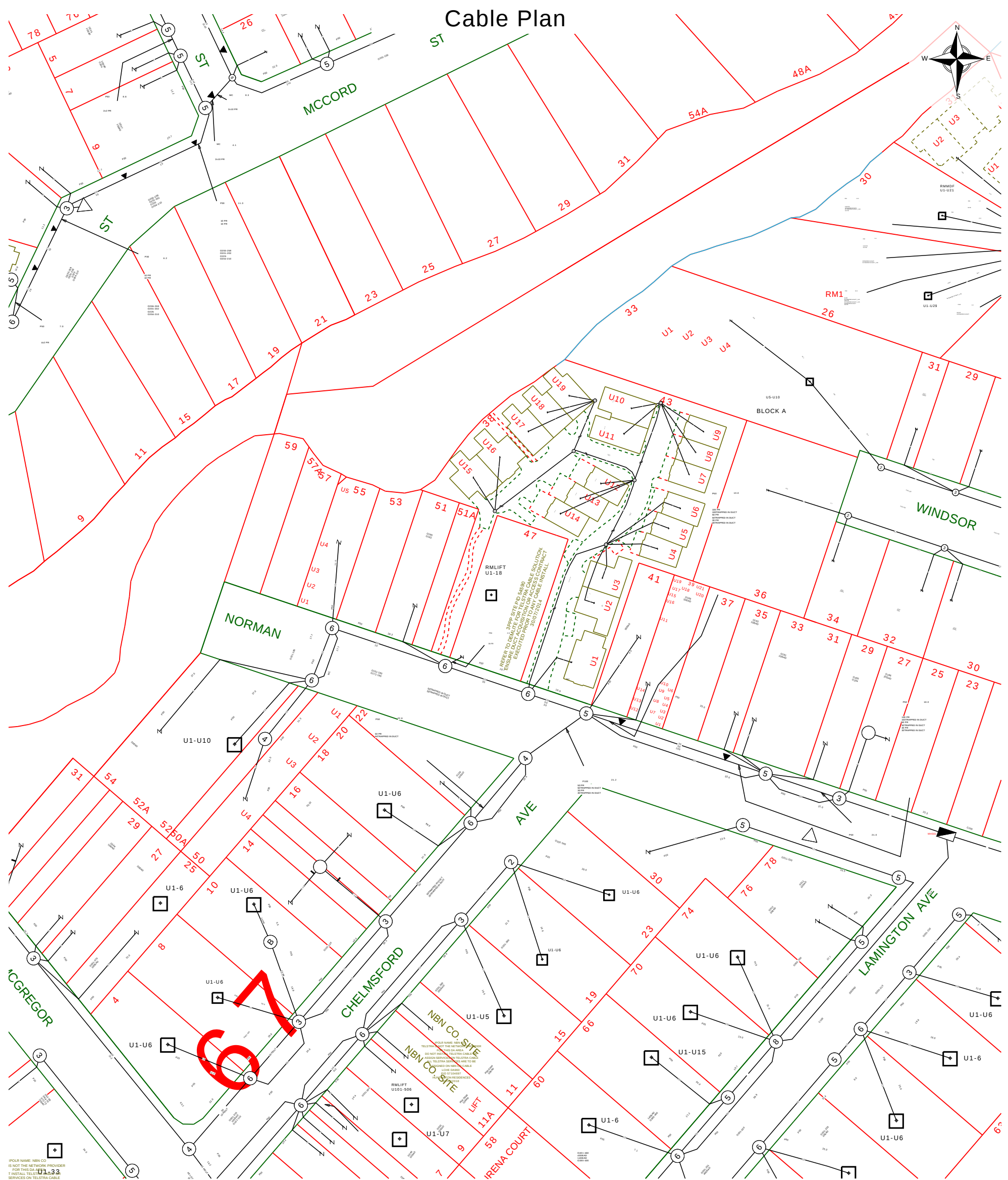
Member Phone

1800 653 935

Responses from this member

Response received Fri 24 Jul 2026 11.47am

File name	Page
Response Body	119
276661591.pdf	121
AccreditedPlantLocators 2026-07-20a.pdf	123
Telstra Duty of Care v32.0c.pdf	124
Telstra Map Legend v4_0c.pdf	126



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-telstra>
Ph - 13 22 03
Email - Telstra.Plans@team.telstra.com
Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

TELSTRA LIMITED A.C.N. 086 174 781

Generated On 24/07/2026 11:46:03

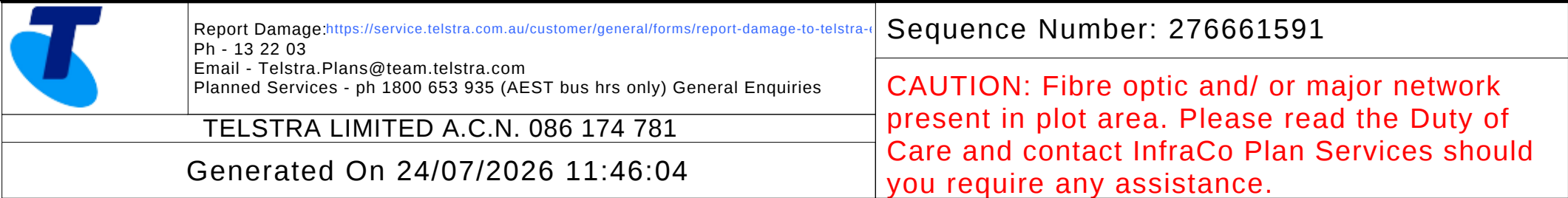
Sequence Number: 276661591

CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact InfraCo Plan Services should you require any assistance.

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information.
As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D.
Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it.
Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy.
Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work.
A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.



WARNING Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works. See the Steps- Telstra Duty of Care that was provided in the email response.
--



Dealing Search

Queensland Titles Registry Pty Ltd
ABN 23 648 568 101

Dealing No:	715888015
Dealing Type:	REQUEST FOR FIRST CMS
Status:	REGISTERED CURRENT
Lodgement Date:	10/07/2014 15:21
Regn. Date:	11/07/2014 09:39

Search Date:	24/07/2026 12:00
Request No:	57005060
Lodgement No:	3475726
Lodgement Receipt:	BE - 8 - 70776
Fee Paid:	\$162.90
Date Logged:	10/07/2014 15:21

Client Code: 024A
Lodger Name: ALLENS
Lodger Address: PO BOX 7082
RIVERSIDE CENTRE QLD
CONTACT: ALICIA MCPAUL
4001

CURRENT TITLES FOR THIS DEALING

50955328

NON CURRENT TITLES FOR THIS DEALING

11382113

NOTES

NIL

** End of Dealing Search **

BCCM

Form 33

Department of Justice

Body corporate certificate

Body Corporate and Community Management Act 1997, section 205(4)

This form is effective from 1 August 2025

For the sale of a lot included in a community titles scheme under the Body Corporate and Community Management Act 1997 (other than a lot to which the Body Corporate and Community Management (Specified Two-lot Schemes Module) Regulation 2011 applies).

WARNING - Do not sign a contract to buy a property in a community titles scheme until you have read and understood the information in this certificate. Obtain independent legal advice if needed.

You may rely on this certificate against the body corporate as conclusive evidence of matters stated in the certificate, except any parts where the certificate contains an error that is reasonably apparent.

This certificate contains important information about the lot and community titles scheme named in the certificate, including:

- becoming an owner and contacting the body corporate
- details of the property and community titles scheme
- by-laws and exclusive use areas
- lot entitlements and financial information
- owner contributions and amounts owing
- common property and assets
- insurance
- contracts and authorisations

This certificate does not include information about:

- physical defects in the common property or buildings in the scheme;
- body corporate expenses and liabilities for which the body corporate has not fixed contributions;
- current, past or planned body corporate disputes or court actions;
- orders made against the body corporate by an adjudicator, a tribunal or a court;
- matters raised at recent committee meetings or body corporate meetings; or
- the lawful use of lots, including whether a lot can be used for short-term letting.

Search applicable planning laws, instruments and documents to find out what your lot can be used for. If you are considering short-term letting your lot, contact your solicitor, the relevant local government or other planning authority to find out about any approvals you will need or if there are any restrictions on short-term letting. It is possible that lots in the community titles scheme are being used now or could in future be used lawfully or unlawfully for short-term or transient accommodation.

The community management statement

Each community titles scheme has a community management statement (CMS) recorded with Titles Queensland, which contains important information about the rights and obligations of the owners of lots in the scheme. The seller must provide you with a copy of the CMS for the scheme before you sign a contract.

The Office of the Commissioner for Body Corporate and Community Management

The Office of the Commissioner for Body Corporate and Community Management provides an information and education service and a dispute resolution service for those who live, invest or work in community titles schemes. Visit www.qld.gov.au/bodycorporate.

You can ask for a search of adjudicators orders to find out if there are any past or current dispute applications lodged for the community titles scheme for the lot you are considering buying www.qld.gov.au/searchofadjudicatorsorders.

The information in this certificate is issued on 24/07/2026

Becoming an owner

When you become an owner of a lot in a community titles scheme, you:

- automatically become a member of the body corporate and have the right to participate in decisions about the scheme;
- must pay contributions towards the body corporate's expenses in managing the scheme; and
- must comply with the body corporate by-laws.

You must tell the body corporate that you have become the owner of a lot in the scheme within 1 month of settlement. You can do this by using the BCCM Form 8 - Information for body corporate roll. Fines may apply if you do not comply.

How to get more information

You can inspect the body corporate records which will provide important information about matters not included in this certificate. To inspect the body corporate records, you can contact the person responsible for keeping body corporate records (see below), or you can engage the services of a search agent. Fees will apply.

Planning and development documents can be obtained from the relevant local government or other planning authority. Some relevant documents, such as the development approval, may be available from the body corporate, depending on when and how the body corporate was established.

Contacting the body corporate

The body corporate is an entity made up of each person who owns a lot within a community titles scheme.

Name and number of the community titles scheme

THE AVENUE LUTWYCHE

CTS No. **46207**

Body corporate manager

Bodies corporate often engage a body corporate manager to handle administrative functions.

Is there a body corporate manager for the scheme?

Yes. The body corporate manager is:

Name: **Byron Leadbetter**

Phone: **07 34355300**

Company: **STRATA CARE AUSTRALIA PTY LTD**

Email: **reception@stratacare.com.au**

Accessing records

Who is currently responsible for keeping the body corporate's records?

The body corporate manager named above.

Property and community titles scheme details

Lot and plan details

Lot number: **16**

Plan type and number: **257677**

Plan of subdivision: **BUILDING FORMAT PLAN**

The plan of subdivision applying to a lot determines maintenance and insurance responsibilities.

Regulation module

There are 5 regulation modules for community titles schemes in Queensland. The regulation module that applies to the scheme determines matters such as the length of service contracts and how decisions are made.

More information is available from www.qld.gov.au/buyingbodycorporate.

The regulation module that applies to this scheme is the:

Standard

NOTE: If the regulation module that applies to the scheme is the Specified Two-lot Schemes Module, then BCCM Form 34 should be used.

Layered arrangements of community titles schemes

A layered arrangement is a grouping of community titles schemes, made up of a principal scheme and one or more subsidiary schemes. Find more information at www.qld.gov.au/buyingbodycorporate

Is the scheme part of a layered arrangement of community titles schemes?

No

If yes, you should investigate the layered arrangement to obtain further details about your rights and obligations. The name and number of each community titles scheme part of the layered arrangement should be listed in the community management statement for the scheme given to you by the seller.

Building management statement

A building management statement is a document, which can be put in place in certain buildings, that sets out how property and shared facilities are accessed, maintained and paid for by lots in the building. It is an agreement between lot owners in the building that usually provides for supply of utility services, access, support and shelter, and insurance arrangements. A lot can be constituted by a community titles scheme's land.

Does a building management statement apply to the community titles scheme?

No

If yes, you can obtain a copy of the statement from Titles Queensland: www.titlesqld.com.au. You should seek legal advice about the rights and obligations under the building management statement before signing the contract -for example, this can include costs the body corporate must pay in relation to shared areas and services.

By-laws and exclusive use areas

The body corporate may make by-laws (rules) about the use of common property and lots included in the community titles scheme. You must comply with the by-laws for the scheme. By-laws can regulate a wide range of matters, including noise, the appearance of lots, carrying out work on lots (including renovations), parking, requirements for body corporate approval to keep pets, and whether smoking is permitted on outdoor areas of lots and the common property. However, by-laws cannot regulate the type of residential use of lots that may lawfully be used for residential purposes. You should read the by-laws before signing a contract.

What by-laws apply?

The by-laws that apply to the scheme are specified in the community management statement for the scheme provided to you by the seller.

The community management statement will usually list the by-laws for the scheme. If the statement does not list any by-laws, Schedule 4 of the Body Corporate and Community Management Act 1997 will apply to the scheme.

In some older schemes, the community management statement may state that the by-laws as at 13 July 2000 apply. In these cases, a document listing the by-laws in consolidated form must be given with this certificate.

General by-laws

The community management statement includes the complete set of by-laws that apply to the scheme.

Exclusive use areas

Individual lots may be granted exclusive use of common property or a body corporate asset, for example, a courtyard, car park or storage area. The owner of a lot to whom exclusive use rights are given will usually be required to maintain the exclusive use area unless the exclusive use by-law or other allocation of common property provides otherwise.

Are there any exclusive use by-laws or other allocations of common property in effect for the community titles scheme?

Yes

If yes, the exclusive use by-laws or other allocations of common property for the schemes are:

given with this certificate and listed below

Date of Resolution	Lot	Description	Conditions
11/07/14			refer to CMS

Lot entitlements and financial information

Lot entitlements

Lot entitlements are used to determine the proportion of body corporate expenses each lot owner is responsible for. The community management statement contains two schedules of lot entitlements – a contribution schedule of lot entitlements and an interest schedule of lot entitlements, outlining the entitlements for each lot in the scheme. The contribution schedule lot entitlement for a lot (as a proportion of the total for all lots) is used to calculate the lot owner's contribution to most body corporate expenses, and the interest schedule lot entitlement for a lot (as a proportion of the total for all lots) is used to calculate the lot owner's contribution to insurance expenses in some cases. Lots may have different lot entitlements and therefore may pay different contributions to the body corporate's expenses.

You should consider the lot entitlements for the lot compared to the lot entitlements for other lots in the scheme before you sign a contract of sale.

Contribution schedule

Contribution schedule lot entitlement for the lot: **1**

Total contribution schedule lot entitlements for all lots: **18**

Interest schedule

Interest schedule lot entitlement for the lot: **139**

Total interest schedule lot entitlements for all lots: **2,304**

Statement of accounts

The most recent statement of accounts prepared by the body corporate for the notice of the annual general meeting for the scheme is given with this certificate.

Owner contributions (levies)

The contributions (levies) paid by each lot owner towards body corporate expenses is determined by the budgets approved at the annual general meeting of the body corporate.

You need to pay contributions to the body corporate's administrative fund for recurrent spending and the sinking fund for capital and non-recurrent spending.

If the Commercial Module applies to the community titles scheme, there may also be a promotion fund that owners of lots have agreed to make payments to.

WARNING: You may have to pay a special contribution if a liability arises for which no or inadequate provision has been made in the body corporate budgets.

The contributions payable by the owner of the lot that this certificate relates to are listed over the page.

Body corporate debts

If any contributions or other body corporate debt (including penalties or reasonably incurred recovery costs) owing in relation to the lot are not paid before you become the owner of the property, YOU WILL BE LIABLE TO PAY THEM TO THE BODY CORPORATE. Before signing the contract, you should make sure that the contract addresses this or provides for an appropriate adjustment at settlement.

Owner contributions and amounts owing

Administrative fund contributions

Total amount of contributions (before any discount) for lot **16** for the current financial year: \$ **1,777.78**

Number of instalments: **4** (outlined below)

Discount for on-time payments (if applicable): **0** %

Monthly penalty for overdue contributions (if applicable): **0.00** %

Period	Due date	Amount due	Amount due if discount applied	Paid
01/07/25 to 30/09/25	01/07/25	510.42	510.42	05/06/25
01/10/25 to 31/12/25	01/10/25	510.42	510.42	20/11/25
01/01/26 to 31/03/26	01/01/26	378.47	378.47	17/12/25
01/04/26 to 30/06/26	01/04/26	378.47	378.47	20/02/26
01/07/26****30/09/26	01/07/26	466.67	466.67	03/06/26
01/10/26****31/12/26	01/10/26	466.67	466.67	
Amount overdue				Nil
Amount Unpaid including amounts billed not yet due				Nil

Sinking fund contributions

Total amount of contributions (before any discount) for lot **16** for the current financial year: \$ **2,065.94**

Number of instalments: **4** (outlined below)

Discount for on-time payments (if applicable): **0** %

Monthly penalty for overdue contributions (if applicable): **0.00** %

Period	Due date	Amount due	Amount due if discount applied	Paid
01/07/25 to 30/09/25	01/07/25	526.40	526.40	05/06/25
01/10/25 to 31/12/25	01/10/25	526.40	526.40	20/11/25
01/01/26 to 31/03/26	01/01/26	506.57	506.57	17/12/25
01/04/26 to 30/06/26	01/04/26	506.57	506.57	20/02/26
01/07/26****30/09/26	01/07/26	542.31	542.31	03/06/26
01/10/26****31/12/26	01/10/26	542.31	542.31	
Amount overdue				Nil
Amount Unpaid including amounts billed not yet due				Nil

Special contributions - Administrative Fund (IF ANY)

Date determined: **18/07/25** (Access the body corporate records for more information).

Total amount of contributions (before any discount) **Nil**

Number of instalments: **0** (outlined below)

Discount for on-time payments (if applicable): **0** %

Monthly penalty for overdue contributions (if applicable): **0.00** %

Period	Due date	Amount due	Amount due if discount applied	Paid
				Amount overdue
				Nil
				Amount Unpaid including amounts billed not yet due
				Nil

Special contributions - Sinking Fund (IF ANY)

Date determined: (Access the body corporate records for more information).

Total amount of contributions (before any discount) Nil

Number of instalments: 0 (outlined below)

Discount for on-time payments (if applicable): 0 %

Monthly penalty for overdue contributions (if applicable): 0.00 %

Due date	Amount due	Amount due if discount applied	Paid
			Amount overdue
			Nil
			Amount Unpaid including amounts billed not yet due
			Nil

Other contributions

	Period	Due date	Amount due	Amount due if discount applied	Paid
Insurance Levy*	01/07/25 to 30/09/25	01/07/25	267.69	267.69	05/06/25
Insurance Levy*	01/10/25 to 31/12/25	01/10/25	267.69	267.69	20/11/25
Insurance Levy*	01/01/26 to 31/03/26	01/01/26	201.98	201.98	17/12/25
Insurance Levy*	01/04/26 to 30/06/26	01/04/26	201.98	201.98	20/02/26
Insurance Levy*	01/07/26 to 30/09/26	01/07/26	246.57	246.57	03/06/26
Insurance Levy*	01/10/26 to 31/12/26	01/10/26	246.57	246.57	

Other amounts payable by the lot owner

Purpose	Fund	Amount	Due date	Amount
No other amounts payable for the lot.				

Summary of amounts due but not paid by the current owner

At the date of this certificate

Annual contributions	Nil
Special contributions	Nil
Other contributions	Nil
Other payments	Nil
Penalties	Nil
Total amount overdue (Total Amount Unpaid including not yet due \$0.00)	Nil

(An amount in brackets indicates a credit or a payment made before the due date)

Common property and assets

When you buy a lot in a community titles scheme, you also own a share in the common property and assets for the scheme. Common property can include driveways, lifts and stairwells, and shared facilities. Assets can include gym equipment and pool furniture.

The body corporate is usually responsible for maintaining common property in a good and structurally sound condition. An owner is usually responsible for maintaining common property or assets that their lot has been allocated exclusive use of, or for maintaining improvements to common property or utility infrastructure that is only for the benefit of their lot. The body corporate may have additional maintenance responsibilities, depending on the plan of subdivision the scheme is registered under. For more information, visit www.qld.gov.au/buyingbodycorporate.

Sinking fund forecast and balance - maintenance and replacement of common property / assets

The body corporate must have a sinking fund to pay for future capital expenses, such as repairs or replacement of common property and assets. The body corporate must raise enough money in its sinking fund budget each year to provide for spending for the current year and to reserve an amount to meet likely spending for 9 years after the current year. If there is not enough money in the sinking fund at the time maintenance is needed, lot owners will usually have to pay additional contributions.

Prior to signing a contract, you should consider whether the current sinking fund balance is appropriate to meet likely future capital expenditure.

Does the body corporate have a current sinking fund forecast that estimates future capital expenses and how much money needs to be accumulated in the sinking fund?

Yes - you can obtain a copy from the body corporate records

Current sinking fund balance (as at date of certificate): \$ 134,836.29

Improvements to common property the lot owner is responsible for

A lot owner may make improvements to the common property for the benefit of their lot if authorised by the body corporate or under an exclusive use by-law. The owner of the lot is usually responsible for maintenance of these improvements, unless the body corporate authorises an alternative maintenance arrangement or it is specified in the relevant by-law.

Details of authorised improvements to the common property that the owner of the lot is responsible for maintaining in good condition are given with this certificate below

Date	Description	Conditions
------	-------------	------------

Body corporate assets

The body corporate must keep a register of all body corporate assets worth more than \$1,000.

The body corporate does not have any assets that it is required to record in its register

Insurance

The body corporate must insure the common property and assets for full replacement value and public risk.

The body corporate must insure, for full replacement value, the following buildings where the lots in the scheme are created:

- under a building format plan of subdivision or volumetric format plan of subdivision - each building that contains an owner's lot (e.g. a unit or apartment); or
- under a standard format plan of subdivision - each building on a lot that has a common wall with a building on an adjoining lot.

Body corporate insurance policies

Details of each current insurance policy held by the body corporate including, for each policy, are given with this certificate.

TYPE/COMPANY	POLICY NO.	SUM INSURED	PREMIUM	DUE DATE	EXCESS
BUILDING CHU via Honan Ins. Group	HU0006048155	10,647,000.00	20,695.15	11/07/27	\$2,000 Standard
PUBLIC LIABILITY CHU via Honan Ins. Group	HU0006048155	30,000,000.00		11/07/27	
VOLUNTARY WORKERS CHU via Honan Ins. Group	HU0006048155	200,000.00		11/07/27	
WORKERS COMPENSATION Workcover Queensland	WSB180756678	200.00	200.00	30/06/26	
FIDELITY GUARANTEE CHU via Honan Ins. Group	HU0006048155	250,000.00		11/07/27	
OFFICE BEARERS CHU via Honan Ins. Group	HU0006048155	5,000,000.00		11/07/27	
MACHINERY BREAKDOWN CHU via Honan Ins. Group	HU0006048155	100,000.00		11/07/27	\$1,000 Standard Excess
LOSS RENT/TEMP ACCOM CHU via Honan Ins. Group	HU0006048155	1,597,050.00		11/07/27	\$2,000 All Claims
LEGAL EXPENSES CHU via Honan Ins. Group	HU0006048155	50,000.00		11/07/27	\$1,000
FLOOD CHU via Honan Ins. Group	HU0006048155	INCLUDED		11/07/27	

Body corporate insurance policies

Details of each current insurance policy held by the body corporate including, for each policy, are given with this certificate.

TYPE/COMPANY	POLICY NO.	SUM INSURED	PREMIUM	DUE DATE	EXCESS
COMMON CONTENTS CHU via Honan Ins. Group	HU0006048155	106,470.00		11/07/27	\$2,000 Basic Claims
BUILDING CATASTROPHE CHU via Honan Ins. Group	HU0006048155	NOT INCL.		11/07/27	
FLOATING FLOORS CHU via Honan Ins. Group	HU0006048155	INCLUDED		11/07/27	\$2,000 All Claims
AUDIT COSTS CHU via Honan Ins. Group	HU0006048155	25,000.00		11/07/27	
APPEAL EXPENSES WH&S CHU via Honan Ins. Group	HU0006048155	100,000.00		11/07/27	
LOT OWNERS FIXTURES CHU via Honan Ins. Group	HU0006048155	250,000.00		11/07/27	

Alternative insurance

Where the body corporate is unable to obtain the required building insurance, an adjudicator may order that the body corporate take out alternative insurance. Information about alternative insurance is available from www.qld.gov.au/buyingbodycorporate.

Does the body corporate currently hold alternative insurance approved under an alternative insurance order?

No

Lot owner and occupier insurance

The occupier is responsible for insuring the contents of the lot and any public liability risks which might occur within the lot.

The owner is responsible for insuring buildings that do not share a common wall if the scheme is registered under a standard format plan of subdivision, unless the body corporate has set up a voluntary insurance scheme and the owner has opted-in.

More information about insurance in community titles schemes is available from your solicitor or www.qld.gov.au/buyingbodycorporate

Contracts and authorisations

Caretaking service contractors and letting agents – Accommodation Module, Commercial Module and Standard Module

A body corporate may engage service contractors to provide services to the body corporate to assist in the management of the scheme.

If the Standard Module, Accommodation Module, or Commercial Module apply to a community titles scheme, the body corporate may also authorise a person to conduct a letting agent business for the scheme, that is, to act as the agent of owners of lots in the scheme who choose to use the person's services for the letting of their lot.

A service contractor who is also authorised to be a letting agent for the scheme is called a caretaking service contractor. Together, an agreement to engage a person as a caretaking service contractor and authorise a person as a letting agent is typically referred to as 'management rights'.

The maximum term of a service contract or authorisation entered into by a body corporate is:

- 10 years if the Standard Module applies to the scheme; and
- 25 years if the Accommodation Module or Commercial Module applies to the scheme.

You may inspect the body corporate records to find information about any engagements or authorisations entered into by the body corporate, including the term of an engagement or authorisation and, for an engagement, duties required to be performed and remuneration payable by the body corporate.

Has the body corporate engaged a caretaking services contractor for the scheme?

No

Has the body corporate authorised a letting agent for the scheme?

No

Embedded network electricity supply

Is there an arrangement to supply electricity to occupiers in the community titles scheme through an embedded network?

No

More information about embedded networks in community titles schemes is available from www.qld.gov.au/buyingbodycorporate.

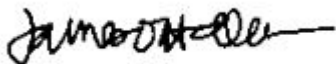
Body corporate authority

This certificate is signed and given under the authority of the body corporate.

Name/s James O'Hare

Positions/s held Director

Date 24/07/2026



Signature/s _____

Copies of documents given with this certificate:

- by-laws for the scheme in consolidated form (if applicable)
- details of exclusive use by-laws or other allocations of common property (if applicable)
- the most recent statement of accounts
- details of amounts payable to the body corporate for another reason (if applicable)
- details of improvements the owner is responsible for (if applicable)
- the register of assets (if applicable)
- insurance policy details

QUEENSLAND LAND REGISTRY

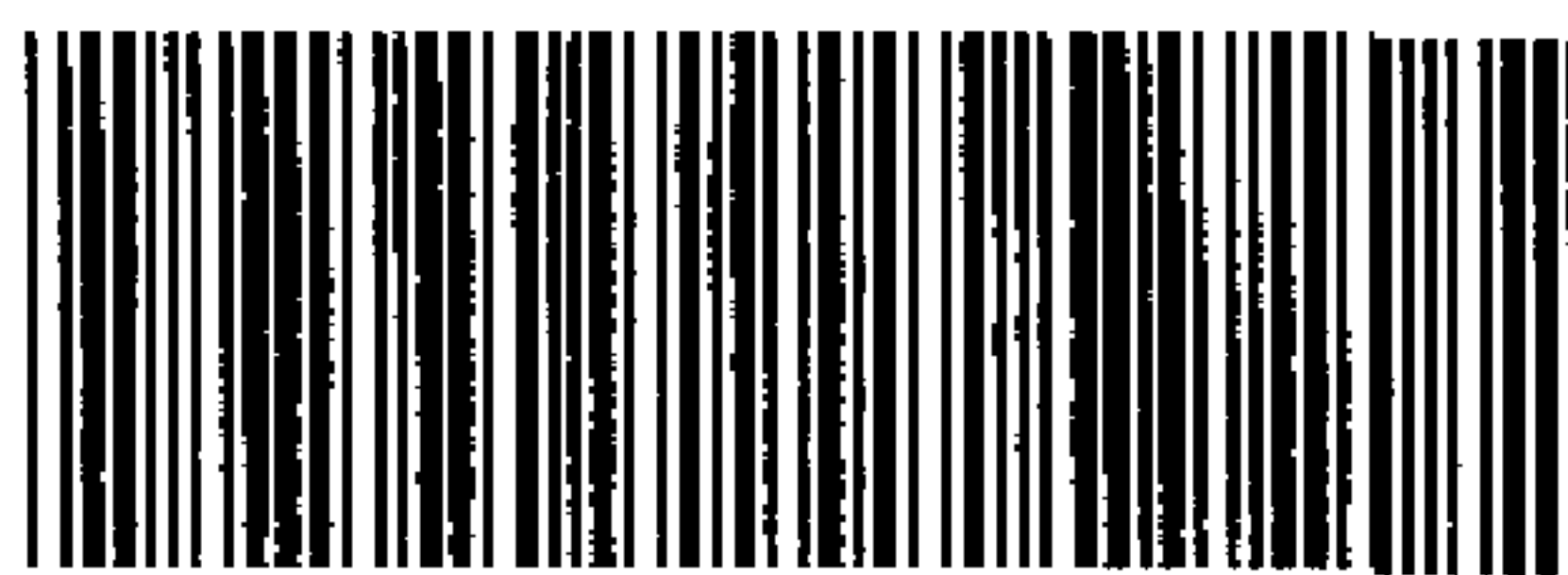
GENERAL REQUEST

Form 14 Version 4

Land Title Act 1994, Land Act 1994 and Water Act 2000

Page 1 of 1

Duty Imprint



715888015

\$162.90

10/07/2014 15:21

BE 460

Land Act 1994 and the Water Act 2000 and is used to maintain the publicly searchable registers in the land registry and the water register. For more information about privacy in DNRM see the department's website.

1. Nature of request

Request to record first community management statement for
The Avenue Lutwyche CTS

Lodger (Name, address, E-mail & phone number)

Allens
Lawyers
123 Eagle Street Brisbane 4000
Sarah.McCulloch@allens.com.au
Tel: (07) 3334 3205

**Lodger
Code**

BE024A

2. Lot on Plan Description**County****Parish****Title Reference**

Lot 8 on Registered Plan 19352

Stanley

Enoggera

11382113

Lot 9 on Registered Plan 19352

Stanley

Enoggera

11382113

3. Registered Proprietor/State Lessee

Jonic Properties No. 2 Pty Ltd (ACN 156 434 543) as trustee under Instrument 714891102

4. Interest

Not applicable

5. Applicant

Jonic Properties No. 2 Pty Ltd (ACN 156 434 543) as trustee under Instrument 714891102

6. Request

I hereby request that:

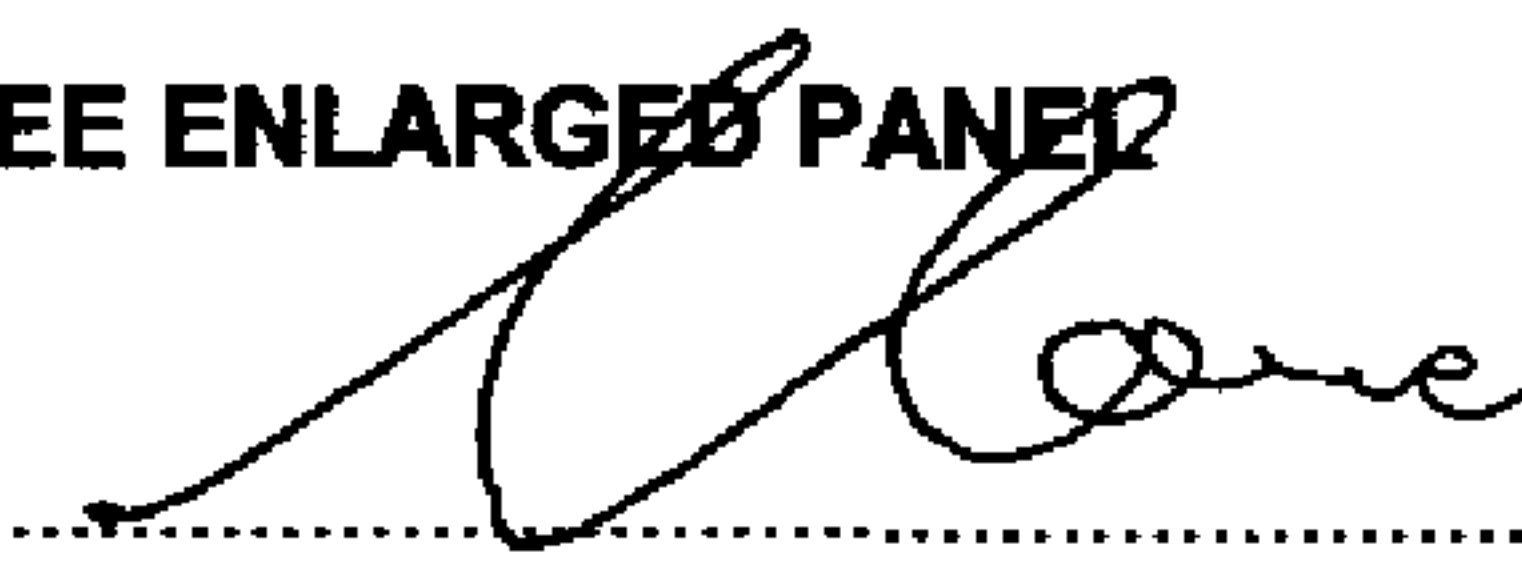
the first community management statement deposited herein be recorded as the community management statement for The Avenue Lutwyche CTS and that the address for service on the body corporate be recorded as Body Corporate Services Pty Ltd, ABN 82 101 120 144 of 5 Hicks Street, Southport in Queensland.

7. Execution by applicant

SEE ENLARGED PANEL

10/7/14
Execution Date

Note: A Solicitor is required to print full name if signing on behalf of the Applicant


Applicant's or Solicitor's Signature

Leslie Anthony Davies

This statement incorporates and must
include the following:

46207

dule A	- Schedule of lot entitlements
dule B	- Explanation of development of scheme land
dule C	- By-laws
dule D	- Any other details
dule E	- Allocation of exclusive use areas

1. Name of community titles scheme

The Avenue Lutwyche Community Titles Scheme

2. Regulation module

Standard

3. Name of body corporate

Body Corporate for The Avenue Lutwyche Community Titles Scheme

4. Scheme land

Lot on Plan Description

County

Parish

Title Reference

Common property of The Avenue
Lutwyche Community Titles Scheme

Stanley

Enoggera

To issue from
11382113

Lots 1 to 18 (inclusive) on SP 257677

5. #Name and address of original owner #

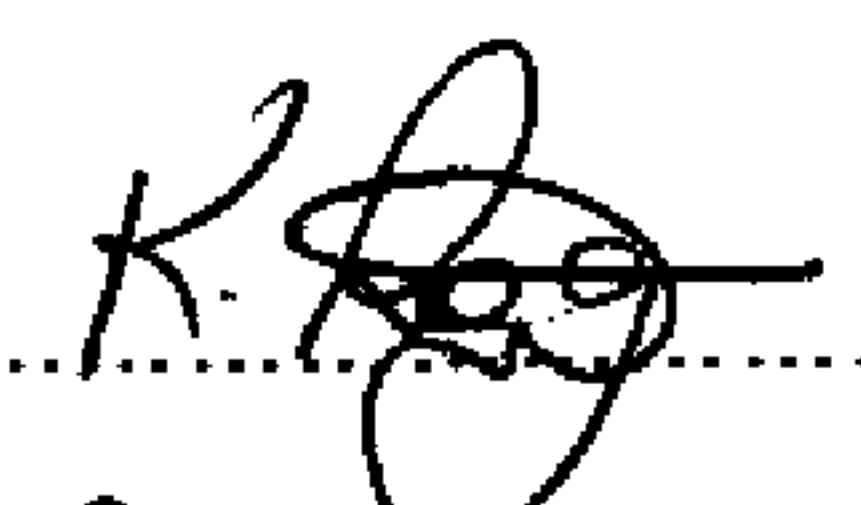
Jonic Properties No. 2 Pty Ltd (ACN 156 434 543)
as trustee under Instrument 714891102
PO Box 2426, Brisbane Qld 4001

6. Reference to plan lodged with this statement

SP 257677

first community management statement only

7. Local Government community management statement notation

..........signed
Kim ROGERS, PRINCIPAL URBAN PLANNER.....name and designation
BRISBANE CITY COUNCIL.....name of Local Government

8. Execution by original owner/Consent of body corporate

..........signature
Lucy Ellis Woodruff.....full name
Lawyer.....qualification

13, 6, 14

..........
Jonic Properties No. 2 Pty Ltd (ACN 156
434 543) as trustee under Instrument
714891102 by its attorney Leslie Anthony
Davies under power of attorney
No.715778727, the attorney certifying that
he has no notice of the revocation of that
power of attorney)

Execution

Witnessing Officer

(Witnessing officer must be in accordance with Schedule 1
of Land Title Act 1994 eg Legal Practitioner, JP, C Dec)

Execution Date

*Original owner to execute for a first community
management statement

Privacy Statement

Collection of this information is authorised by the Body Corporate and Community Management Act 1997 and is used to maintain the publicly
searchable registers in the land registry. For more information about privacy in NR&W see the department's website.

The Avenue Lutwyche CTS

SCHEDULE A SCHEDULE OF LOT ENTITLEMENTS

Lot on Plan	Contribution	Interest
Lot 1 on SP 257677	1	139
Lot 2 on SP 257677	1	139
Lot 3 on SP 257677	1	106
Lot 4 on SP 257677	1	106
Lot 5 on SP 257677	1	106
Lot 6 on SP 257677	1	139
Lot 7 on SP 257677	1	139
Lot 8 on SP 257677	1	106
Lot 9 on SP 257677	1	106
Lot 10 on SP 257677	1	106
Lot 11 on SP 257677	1	139
Lot 12 on SP 257677	1	139
Lot 13 on SP 257677	1	139
Lot 14 on SP 257677	1	139
Lot 15 on SP 257677	1	139
Lot 16 on SP 257677	1	139
Lot 17 on SP 257677	1	139
Lot 18 on SP 257677	1	139
TOTALS	18	2304

The Original Owner has elected to adopt the Equality Principle as the principle on which the contribution schedule lot entitlements are created. The Original Owner sees no need to differentiate the contribution schedule lot entitlements for individual lots given the equal ability to use and obligations to maintain common property.

The Original Owner has elected to adopt the Market Value Principle as the principle on which the interest schedule lot entitlements are created. The Original Owner believes that the relative interest schedule lot entitlements are proportionate to the market value of the lots.

SCHEDULE B EXPLANATION OF THE DEVELOPMENT OF SCHEME LAND

Not applicable.

SCHEDULE C BY-LAWS

The by-laws in schedule 4 of the Act will not apply to the Scheme and the following by-laws will apply.

1 Definitions and Interpretation

1.1 Definitions

In these By-laws the following terms have the following meaning unless the context otherwise requires:

Act means the *Body Corporate and Community Management Act 1997*.

Body Corporate means the Body Corporate for the Scheme.

Building means any fixed structure that is wholly or partly enclosed by walls and is roofed and includes any part of such structure.

Committee means the committee of the Body Corporate.

Committee's representative means a member of the Committee appointed by it from time to time to represent it.

Common Property means the common property created upon registration of the Scheme.

Lot means a lot in the Scheme and includes any lot created by a subsequent re-subdivision under the Act of any part of the Scheme Land.

The Avenue Lutwyche CTS

Occupier means the legal occupant from time to time of a Lot.

Original Owner means the original owner and its successors and assigns.

Owner means the owner of a Lot.

Person means a person bound by these By-laws.

Scheme means the scheme established upon registration of the Community Management Statement under the Act.

Scheme Land means the land comprised in the Scheme.

Secretary means the secretary of the Body Corporate appointed pursuant to the Act

Vehicle has the same meaning as 'Vehicle' as defined in the *Traffic Act 1949*.

1.2 Interpretation

- (a) In these by-laws, except to the extent that the context otherwise requires:
 - (i) the singular includes the plural and vice versa;
 - (ii) 'person' includes a natural person, each other kind of legal entity and an unincorporated association;
 - (iii) reference to a statute or any other law is a reference to the state or law.
- (b) Clause headings will be disregarded in the interpretation of these by-laws.

2 Use of Lots

2.1 Use

Subject to by-laws 2.2 to 2.4 a Lot may be used for residential purposes and any other use as permitted under the Brisbane City Council Planning Scheme.

2.2 Original Owner Exemption

While the Original Owner is the owner of any Lot it may:

- (a) use any such Lot for display purposes;
- (b) allow prospective purchasers of any Lot to inspect such display Lot; and
- (c) use such signs, advertising or display material in or about the display Lot and Common Property as it thinks fit.

2.3 Signs

Any signs erected pursuant to by-law 2.2 must be attractive and tasteful having regard to the general aesthetics and amenity for the Scheme Land and must not at any time be more, in number or size, than is reasonably necessary.

2.4 Leasing

An Owner may let a Lot but only:

- (a) by means of a written lease or tenancy agreement;
- (b) if that lease or agreement obliges the lessee or tenant to comply with these by-laws.

2.5 Noise

No person may in a Lot:

- (a) carry on noxious or offensive activity; or

The Avenue Lutwyche CTS

- (b) make or allow noise in a Lot or on Common Property that will interfere with the peaceful enjoyment of a Lot or the Common Property by others.

All Owners and Occupiers of Lots when making use of the Common Property must ensure that children below the age of 18 years are not in or around the same unless accompanied by an adult Owner or Occupier exercising effective control over them.

2.6 Appearance

A Person shall not:

- (a) hang any washing, bedding or other cloth article or display a sign, banner, advertisement, placard or similar article from or on his Lot if it were to be visible from another Lot, the Common Property or from outside the Scheme;
- (b) erect any sign on his Lot for sale or lease and the Body Corporate may remove any sign, the erection of which is not authorised by the Body Corporate;
- (c) allow to be placed upon any part of a Lot any undesirable furniture or other undesirable article if it were to be visible from another Lot, the Common Property or from outside the Scheme without the consent in writing of the Body Corporate; or
- (d) enclose any balcony or terrace shown on the approved drawing and documents with shutters, glazing, louvers or similar permanent fixtures other than those consistent with the relevant Brisbane Planning Scheme Codes/Policies clearly depicted on the approved drawings.

2.7 Auctions

Subject to by-law 2.2, an Owner or Occupier must not permit any auction sale to be conducted or to take place in the Lot or within Scheme Land without the prior approval in writing of the Body Corporate.

2.8 Animals

- (a) No animal, except common household dogs, cats and birds (*Pets*) are allowed in a Lot or the Common Property and the behaviour of Pets in a Lot or the Common Property must be controlled so that it:
 - (i) does not interfere with the enjoyment of a Lot or the common Property by others;
 - (ii) minimises the adverse impact of such Pets (particularly cats) on fauna in the Lot and in Common Property.
- (b) A Person must not keep more than 2 Pets which must be less than 15 kilograms in weight in a Lot without the written consent of the Body Corporate.
- (c) By-laws 2.8(a) and 2.8(b) apply subject to any law.
- (d) Dogs are not allowed on Common Property except if on a leash or carried.
- (e) Any excrement deposited by a Pet on the Common Property must be removed promptly by the Pet owner.
- (f) Any Owner who keeps and maintains a Pet will be liable for any and all action by the Pet whether or not the Owner had knowledge, notice or forewarning of the likelihood of such action.
- (g) The Committee may serve a Person a notice that a Pet owned by the Person is causing a nuisance to any other person. Where a Person receives such a notice from the Committee the Person must immediately take steps to prevent further nuisance occurring failing which the Committee may serve a further notice requiring the immediate removal of the Pet specified in the notice and the Person must immediately permanently remove the Pet from the Scheme Land.

The Avenue Lutwyche CTS

3 Structures, Gardens etc

3.1 Alterations – Lot

A Person may not without prior written consent of the Body Corporate alter gas, water, drainage, septic, sewerage, telephone or electrical connections and services to a Lot.

3.2 Alterations – Common Property

A Person must not:

- (a) alter;
- (b) paint or otherwise mark;
- (c) drive nails or anything else into; or
- (d) otherwise damage or deface,

any structure (including any irrigation equipment or piping) forming part of the Common Property except with the Body Corporate's written consent.

3.3 Interference – Common Property

A Person must not:

- (a) damage a lawn or garden;
- (b) damage or remove any plant or part of a plant; or
- (c) interfere with the operation of irrigation,

on Common Property.

3.4 Fauna

Each Person must:

- (a) take all reasonable steps to preserve the natural fauna within the Scheme Land; and
- (b) implement sufficient controls over domestic Pets to minimise the adverse impact of such Pets (particularly cats) on natural fauna.

4 Landscape Preservation

4.1 Register

The Body Corporate may, at its option, maintain a register and description of trees, landscaping and any associated plants within the Scheme Land.

4.2 Prohibition Against Destruction

A Person must not:

- (a) wilfully injure, ring-bark, cut down, top, lop, remove or destroy any trees, plants or other growing thing or landscaping (collectively **Landscape**) on the Scheme Land (whether or not identified in the register);
- (b) otherwise partially or totally remove any of the Landscape (whether or not entered in the register) except with the prior written approval of the Body Corporate.

4.3 Damage to Landscaping on Common Property

A Person must not:

- (a) damage any of the Landscape situated upon the Common Property; or
- (b) except with the prior written consent of the Body Corporate, use for the Person's own purpose as a garden, any of the Common Property.

The Avenue Lutwyche CTS

5 Maintenance/Appearance

5.1 Maintenance

Every Owner must:

- (a) maintain in good condition and repair the exterior of his Lot including (without Limitation) all walls and windows within a Lot; and
- (b) take all practicable steps to prevent infestation of the Lot by vermin or insects.

5.2 Window furnishings

An Owner or Occupier shall not apply window tinting visible from outside the Lot, unless such colour and design have been approved by the Committee. In considering any such application, the Committee shall ensure so far as practicable that window tinting does not change the uniform appearance of windows when viewed from Common Property or any other Lot within the Scheme.

5.3 Doors and windows

All doors and windows to a Lot shall be securely fastened on all occasions when the Lot is left unoccupied and the Committee reserves the right to enter and fasten same if left insecurely fastened.

6 Vehicles

6.1 Parking and repair

- (a) A Person must not park or keep any Vehicle on a Lot except wholly within the parking area designated for it.
- (b) A Person must not park or keep a Vehicle of a commercial type (which includes, but without limitation, a dump truck, cement mixer truck, delivery truck, semi-trailer, coach, bus or operable vehicle equipment, whether mobile or otherwise) within the Scheme Land except for the purpose and in the course of commercial deliveries.
- (c) A Person must not conduct repairs or restoration to any motor vehicle, boat, trailer, aircraft or other Vehicle on a Lot except:
 - (i) wholly within the garage on the Lot; and
 - (ii) if such activity does not interfere with the quiet enjoyment of other Lots or Common Property by others,

but such activity is not permitted if it is determined by the Body Corporate to be a nuisance, and is not permitted on Common Property

- (d) The Person must use the garage in a Lot only as a garage and for general storage purposes and may not convert it to any other use without the written consent of the Body Corporate.
- (e) A Person must not park or keep any Vehicle on the Common Property other than within designated parking areas and must not obstruct any Common Area or Road.
- (f) An Owner or Occupier of a Lot must not permit any occupation or a caravan, camper van or mobile home upon a Lot or common property unless it is within a designated parking area.

7 Insurance and Related Matters

7.1 Restrictions

A Person must not bring to, do or keep anything on a Lot which:

- (a) will increase the rate of premium for fire insurance on a Lot or the Common Property;
- (b) may conflict with the laws or regulations relating to fire or any insurance policy on a Lot or the Common Property; or

The Avenue Lutwyche CTS

- (c) may conflict with the regulations or ordinances of the local government or other public authority for the time being in force.

8 Garbage Collection

8.1 Owner's duties

Each Owner must:

- (a) except if the Body Corporate provides some other means of disposal of garbage, maintain on the Lot in a clean and dry condition and adequately covered, a receptacle for garbage;
- (b) at all times protect garbage deposited in the receptacle against the attraction of flies by wrapping the garbage in paper or other suitable material;
- (c) thoroughly cleanse and deodorise the receptacle regularly;
- (d) at all times keep the proper lid (of correct fit) on the receptacle;
- (e) not place or cause to be placed in the receptacle any refuse, or other thing which is aflame, smouldering, Sludge, alive or not garbage;
- (f) ensure the receptacle is not overloaded to more than the maximum weight for the receptacle;
- (g) ensure the receptacle is placed at the nominated collection point on collection days and promptly returned to the Lot following collection; and
- (h) comply with all local government by-laws and ordinances relating to the disposal of garbage.

8.2 Sludge

For the purposes of by-law 8 **Sludge** means any matter or thing, whether solid or liquid or a combination of solids and liquids, which have been removed from a septic tank, septic closet, chemical closet, sullage pit, grease trap or any holding tank or other container forming part of or used in connection with a septic tank, septic closet, chemical closet, sullage pit, grease trap.

9 Notice of Accidents/Damage to Property

9.1 Notice

Each Person must notify the Body Corporate promptly of any accident to or defect in any water pipes, gas pipes, electric installations or fixtures that come to the Person's knowledge.

10 Contractors

10.1 No instruction

A Person must not directly instruct any contractors or workmen employed by the Body Corporate unless specifically authorised to do so.

10.2 Body Corporate representative

All requests for the Body Corporate to consider giving directions on a particular matter to a contractor or workman must be directed to the Body Corporate's representative, who will in turn refer the request to the Body Corporate for determination.

11 Notification of Infectious Disease

11.1 Notice

A Person must, if any infectious disease, which may require notification by virtue of any statute, regulation or ordinance, affects any person in any Lot give, or causes to be given, notice of the fact and any other information which may be required relative to the disease to the Body Corporate.

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11.2 Expenses

The Owner must pay to the Body Corporate the expenses of disinfecting the affected Lot (if that is necessary) and replacing any article or thing the destruction of which may be rendered necessary by such disease.

12 Rules relating to the Common Property

The Body Corporate may make rules relating to the Common Property not inconsistent with these by-laws.

13 Notices to be Observed

The Body Corporate must observe the terms of any notice displayed on any part of the Common Property by authority of the Body Corporate or of any statutory authority.

14 Invitees

14.1 Compliance with by-laws

Each Person must:

- (a) ensure his invitees comply with these by-laws; and
- (b) if an invitee fails to comply, forthwith cause that invitee to leave the property.

14.2 Lessee

A Person who lets his Lot must take all reasonable steps (including any action available to him under the relevant lease or agreement) to ensure that the lessee and lessee's invitees comply.

15 By-laws to be Exhibited

A copy of these by-laws (including laws made under them or a précis of them approved by the Committee) must be exhibited in a prominent place in any Lot made available for letting.

16 Flammable Materials

A Person must not without the Committee's written consent use or store any chemicals, burning fluids, acetylene gas or alcohol in a Lot or on Common Property nor in any other way cause or increase a risk of fire or explosion in a Lot or Building or cost of fire insurance or breach of law, but this by-law does not prevent the use of barbecues in Lots.

17 Obstruction

A Person must not obstruct the lawful use of the Common Property by any Person or access to another Lot.

18 Maintaining and Upgrading of Services

18.1 Maintenance

The Body Corporate may from time to time arrange for the maintenance and upgrading of telecommunications services provided to a Lot or a series of Lots.

18.2 Payment

The Owner of any Lot that receives the benefit of the services must pay on demand by the Body Corporate his proportion of the cost of providing those services and maintenance and upgrade of those services from time to time.

18.3 Disconnection

If a relevant Owner does not do so, the Committee may authorise the disconnection of any or all services provided to the Lot.

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19 Breaches and Penalties

19.1 Remedy

A Person in breach of these by-laws (which includes breach of any proper direction given under them) must remedy that breach immediately the Person becomes aware of it and in any event within 7 days after notice from the Committee requiring the Person to do so.

19.2 Removal

A drunken or disorderly Person found in or upon the Common Property may be summarily ejected and removed from the Scheme Land by a security officer or a member of the police force.

19.3 Recovery of costs

- (a) An Owner must pay on demand the whole of the Body Corporate's costs and expenses (including solicitor and own client costs, plus any GST properly chargeable in respect of these costs) in connection with:
 - (i) recovering levies or monies payable to the Body Corporate pursuant to the Act or these by-laws duly levied upon the Owner by the Body Corporate or otherwise pursuant to these by-laws;
 - (ii) all legal and other proceedings concluded by way of settlement or court determination in favour of the Body Corporate taken by or against the Owner or Occupier of a Lot; and
 - (iii) costs and expenses (including solicitor and own client costs) incurred by the Body Corporate to enforce a by-law or make good any damage incurred by a breach of these by-laws by that Person or that Person's invitees (including tenants) and incurred in recovery of those costs and expenses.
- (b) The amount of any such costs shall be deemed to be a liquidated debt due by the Owner to the Body Corporate.
- (c) If the Owner fails to pay such costs upon demand, the Body Corporate:
 - (i) may take action for the recovery of those costs in a court of competent jurisdiction; and/or
 - (ii) enter such costs and expenses against the levy account of the Owner
- (d) In this by-law references to an Owner shall be deemed to include reference to a mortgagee in possession of any Owner's Lot.
- (e) The Body Corporate may include any costs payable to it under this by-law or any certificate issued in respect of the Lot pursuant to the Act, including but not limited to a notation of unpaid insurance premiums.

19.4 Recovery of Expenditure

Where the Body Corporate expends money to make good the damage caused by a breach of the Act or of these by-laws by an Owner or Occupiers of a Lot or the tenants, guests, servants, employees, agents or children, invitees or licensees of such Owner or Occupier or any of them, the Committee will be entitled to recover the amount so expended as a debt in an action in any court of competent jurisdiction from the Owner of the Lot at the time when the breach occurred.

20 GST

20.1 Definition

For the purposes of this by-law:

- (a) **GST** means a goods and services tax, consumption tax, value added tax, retail turnover tax or a tax of a similar nature.
- (b) **Primary Payment** means any payment or consideration given by an Owner or Occupier to the Body Corporate for any levy or other money or consideration payable or to be given by an Owner or Occupier to the Body Corporate in connection with any supply of any goods and services.

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20.2 Payment

If the Body Corporate is liable by law for any GST on any Primary Payment, the Owner must pay to the Body Corporate the amount of the GST in addition to the Primary Payment at the same time and in the same manner as the Owner is required to pay the Primary Payment in respect of which the GST relates.

21 Exclusive Use Areas

- (a) The Original Owner may allocate the exclusive use of a part of the Common Property (**Area**) to a Lot nominated in writing by the Original Owner to the Body Corporate.
- (b) When the allocations are made they will be identified in Schedule E.
- (c) The Owners of such Lots:
 - (i) are entitled to only use the Area for purposes consistent with these by-laws;
 - (ii) are required at their own expense to keep the Area clean and tidy; and
 - (iii) are responsible for the maintenance and operating costs of the Area.
- (d) The grant of exclusive use and enjoyment is made subject to the relevant Owner allowing the Body Corporate, the Committee and their properly appointed agents access at all reasonable times to such Area for any proper purpose.

22 Severability

If it is held by a court of competent jurisdiction that:

- (a) any part of these by-laws is void, voidable, unenforceable or ultra vires; or
- (b) these by-laws would be void, voidable, unenforceable or ultra vires unless some part of them were severed from the remainder of them,

then that part will be severable and severed from these by-laws but without affecting the continued operation of the remainder.

23 Cable Television

The Body Corporate has the power to install all cabling, wiring, ducting, conduits, amplifiers and all other necessary equipment required for the provision of cable television to the Scheme and each Lot must:

- (a) allow persons to install cabling, wiring, ducting, conduits, amplifiers and any other necessary equipment to enable Owners or Occupiers to connect to cable television; and
- (b) provide the supply of electricity at the cost of the Body Corporate if needed for any component to the cable television facility that is installed on the Common Property.

24 Construction/Sale of Lots

24.1 Use of Common Property and Lots

Whilst the Original Owner (and any person to whom the Original Owner assigns its rights under this by-law) remains an owner of any Lot in the Scheme Land it and its contractors, agents and those authorised by it, will be entitled:

- (a) to place such signs and other advertising and display material in or about a Lot and above the Common Property which signs will in all respects be attractive and tasteful having regard to the visual and acoustic privacy of other Lots and the general aesthetics and amenity of the Scheme Land, and will not at any time, and from time to time be more, in terms of number and size, this is reasonably necessary;
- (b) together with persons authorised by it, to pass over the Common Property (with or without vehicles and equipment) to gain access to and egress from any part of the Scheme Land;

The Avenue Lutwyche CTS

- (c) to carry out any building (including construction) of any improvements, or any other things done on the Scheme Land and no objection will be made to the noise, nuisance or other inconvenience which might arise from that; and
- (d) to use the Common Property or other lots, in the Scheme to:-
 - (i) give access to and egress from any part of the Scheme Land with or without vehicles and equipment (or either of them); and
 - (ii) store building materials, vehicles, equipment or fill on the Scheme Land.

24.2 Interference

In exercising its rights under this by-law, the Original Owner will use reasonable endeavours to prevent undue interference with the enjoyment, by lot owners, of their lots and the Common Property.

24.3 Owners and Occupiers to comply with Directions

While any construction or building operations are occurring on the Scheme Land, Lot owners, occupiers and invitees to the Scheme Land must comply with the reasonable direction of the Original Owner (and persons authorised by it). In particular, they must comply with any altered traffic (vehicle and pedestrian) flow directions.

SCHEDULE D OTHER DETAILS REQUIRED/PERMITTED TO BE INCLUDED

Statutory Easements

Each Lot in the Scheme is affected by the following easements:

- (a) easement for lateral or subjacent support;
- (b) easement for utility services and utility infrastructure;
- (c) easement for shelter;
- (d) easement for projections; and
- (e) easement for maintenance of building close to boundary.

Service Location Diagrams

The Service Location Diagram is included in this CMS

Lot on Plan	Statutory Easement	Service Location Diagrams
CP	Water	Water
CP	Electricity	U/G elec
CP	Storm Water	Storm Water
CP	Sewerage	Sewer
CP	Telecommunication	Comms/Data and Telephone
CP	Gas	Gas

The Avenue Lutwyche CTS

SCHEDULE E DESCRIPTION OF LOTS ALLOCATED EXCLUSIVE USE AREAS OF COMMON PROPERTY

Details of lots allocated exclusive use areas of common property are as follows:

Lot No.	Exclusive Use Area
Lot 1 on SP 257677	Exclusive Use Area 1 on Plan A
Lot 2 on SP 257677	Exclusive Use Area 2 on Plan A
Lot 3 on SP 257677	Exclusive Use Area 3 on Plan A
Lot 4 on SP 257677	Exclusive Use Area 4 on Plan A
Lot 5 on SP 257677	Exclusive Use Area 5 on Plan A
Lot 6 on SP 257677	Exclusive Use Area 6 on Plan A
Lot 7 on SP 257677	Exclusive Use Area 7 on Plan A
Lot 8 on SP 257677	Exclusive Use Area 8 on Plan A
Lot 9 on SP 257677	Exclusive Use Area 9 on Plan A
Lot 10 on SP 257677	Exclusive Use Area 10 on Plan A
Lot 11 on SP 257677	Exclusive Use Area 11 on Plan A
Lot 12 on SP 257677	Exclusive Use Area 12 on Plan A
Lot 13 on SP 257677	Exclusive Use Area 13 on Plan A
Lot 14 on SP 257677	Exclusive Use Area 14 on Plan A
Lot 15 on SP 257677	Exclusive Use Area 15 on Plan A
Lot 16 on SP 257677	Exclusive Use Area 16 on Plan A
Lot 17 on SP 257677	Exclusive Use Area 17 on Plan A
Lot 18 on SP 257677	Exclusive Use Area 18 on Plan A

SCHEDULE E

QUEENSLAND LAND REGISTRY

Emt A
SP149075

PLAN A
EXCLUSIVE USE PLAN

"THE AVENUE LUTWYCHE" CTS

CMS	Sheet	of
Plan	Sheet	of
/	/	/

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SUNSHINE COAST OFFICE
Ph (07) 5538 8104

Rev	Date
A	Plan Updated 2/05/2014

NOTES

1. Drawn to Scale on A3 sheet
2. Community Titles Scheme "THE AVENUE LUTWYCHE" CTS
3. Meridian of SP257677
4. Exclusive use boundaries that refer to structural features are shown ...

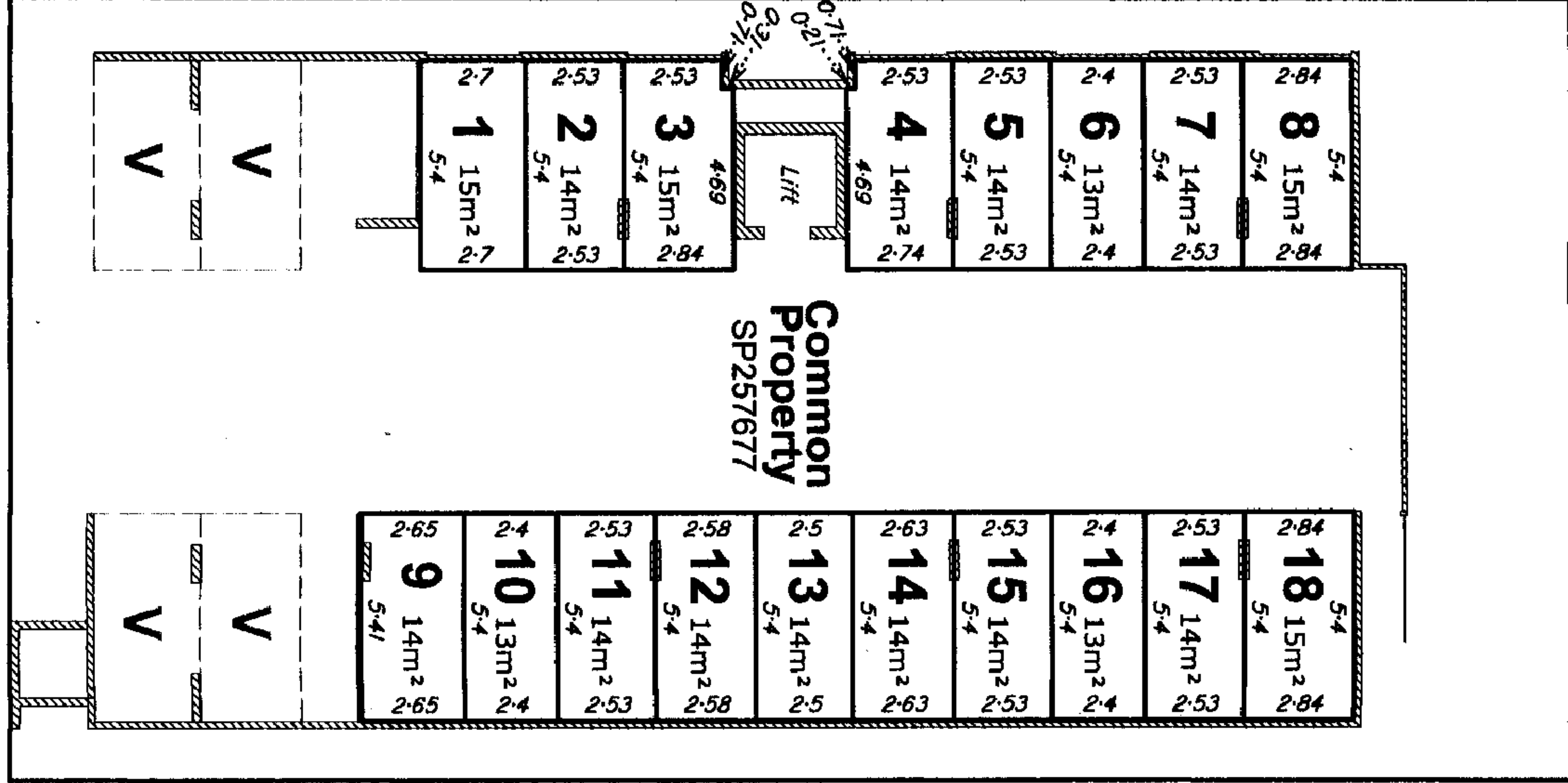
- Denotes boundary through centreline of column
- Denotes Boundary along face of column
- Denotes boundary along face of wall

TITLE

Plan of Exclusive Use
Areas 1-18
in part of the Common Property on Level B (Basement Level) on SP259641
"THE AVENUE LUTWYCHE" CTS

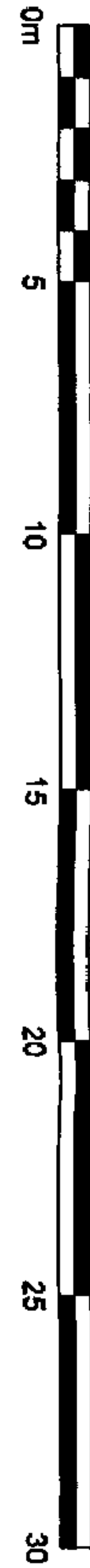
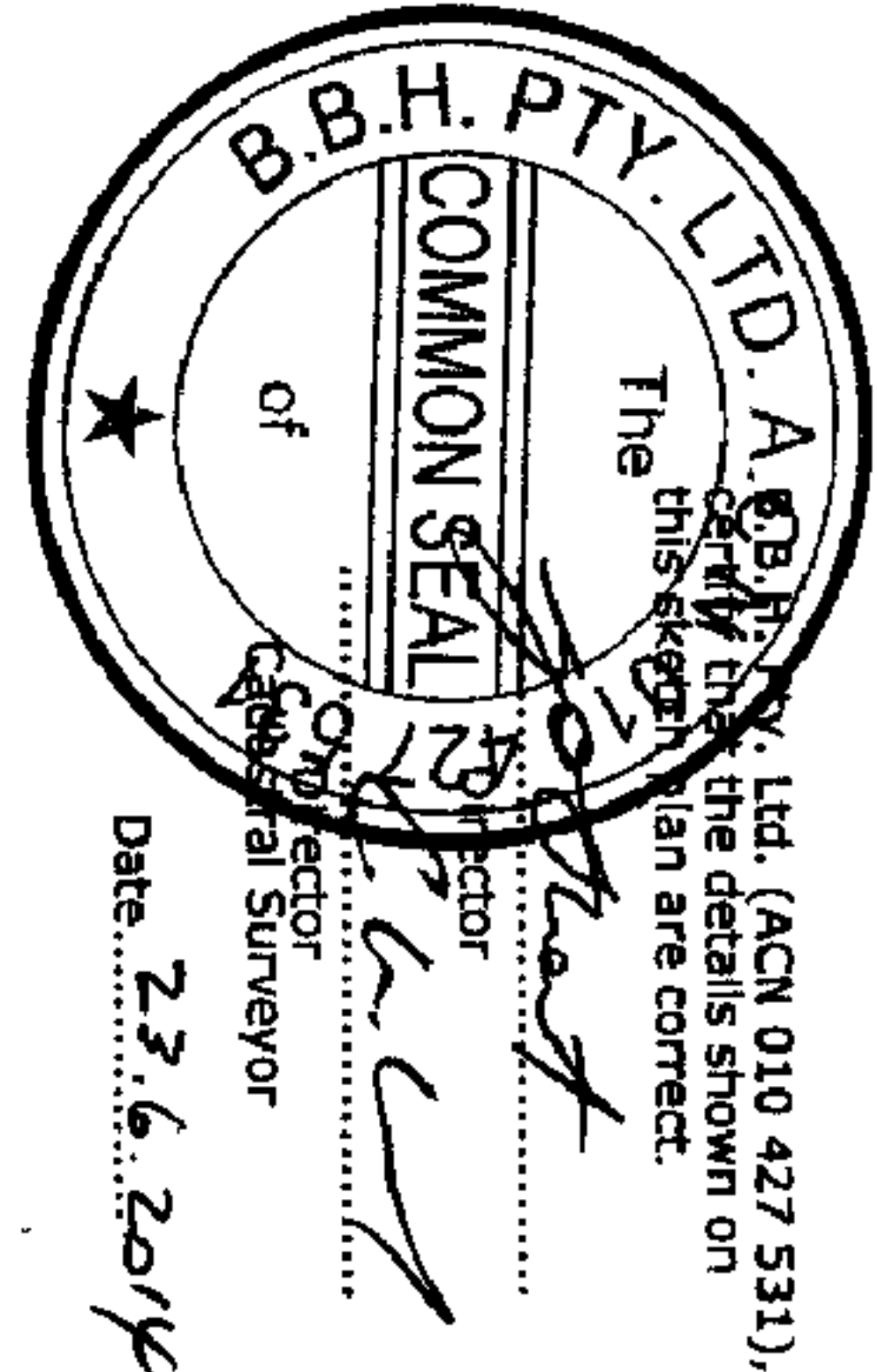
Client
Jonic Properties No 2 Pty Ltd
Local Government
BRISBANE CITY COUNCIL
Locality
LUTWYCHE
Camp File

Drawn D1/SS **Surv'd** **Approved** GS
Date Created 19/9/12 **Job Ref.** 12235
SCALE @ A3 1:200 **PLAN NO.** 1 **Rev.** A



CP
SP147292

CP
SP147292



CMS Sheet	of
Plan Sheet	of
/	/

SERVICES LOCATION DIAGRAM
"THE AVENUE LUTWYCHE" CTS

All mail to: PO Box 5021, GCMC, Qld. 9726
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mail@bennettandbennett.com.au

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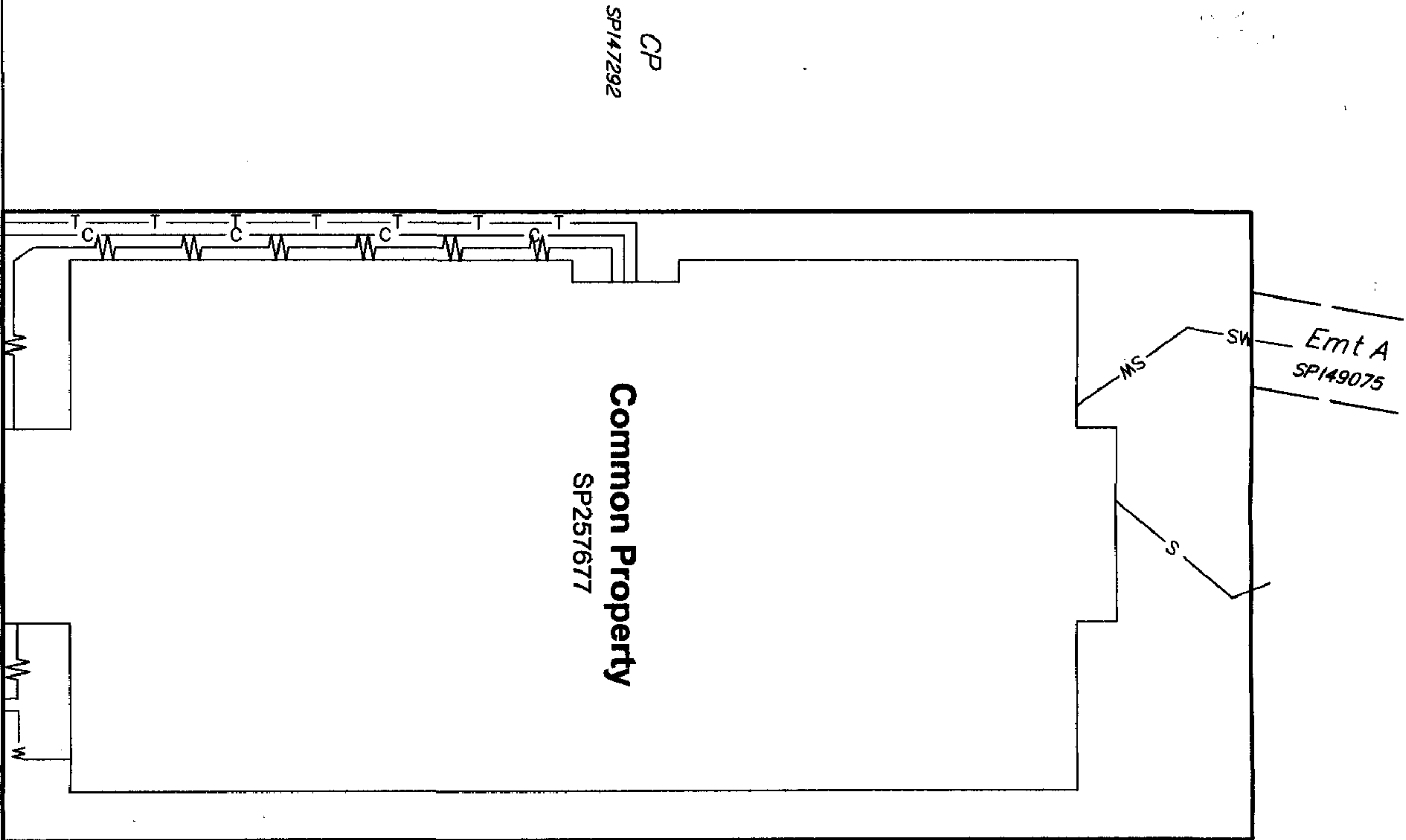
Rev	Date
A	2/05/2014
B	29/05/2014

UTILITY SERVICES

W	W	Water
W	W	U/G elec
S	S	Sewer
SW	SW	Stormwater
T	T	Telephone
C	C	Comms/data
G	G	Gas

NOTES:

1. Drawn to Scale on A3 sheet
2. Community Titles Scheme "THE AVENUE LUTWYCHE" CTS
3. This service location diagram shows the indicative location of utility services within the Common Property external to any building or structures as required by section 66(1) of the BCCM Act and should not be used for any other purpose.
4. Services shown are plotted from plans provided by the builder & not verified by field survey.



NORMAN AVENUE

Scale 1:200



TITLE
Services Location Diagram
in the Common Property
on SP257677 of
"THE AVENUE LUTWYCHE"
CTS

Client	Jonic Properties No 2 Pty Ltd				
Local Government	BRISBANE CITY COUNCIL				
Locality	LUTWYCHE				
Comp File					
Drawn	DJ/SS	Surv'd	MJO	Approved	GS
Date Created	19/9/12	Job Ref.	12235		
SCALE @ A3	1:200	PLAN No.	2	Rev.	B

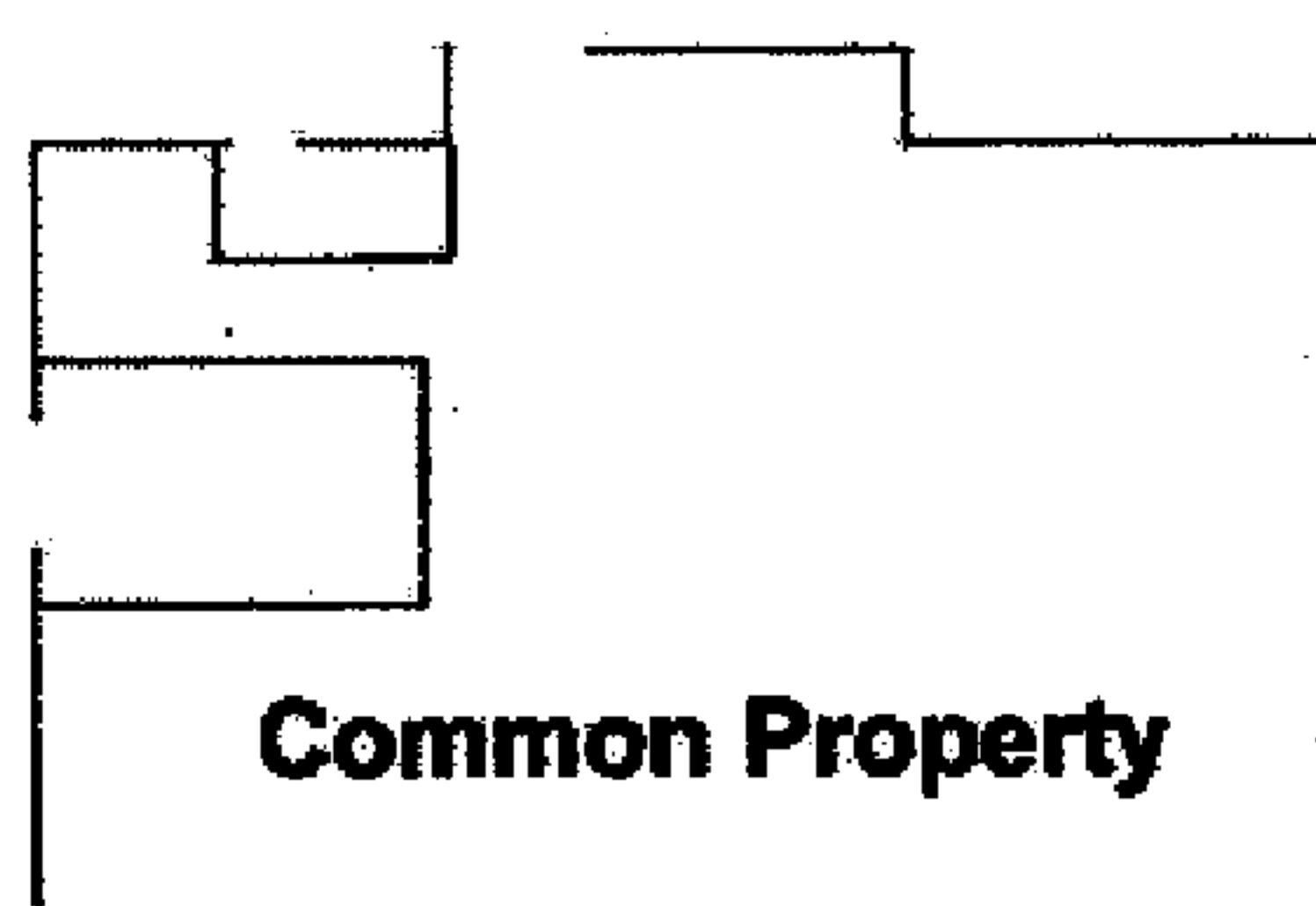


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		WARNING : Folded or Mutilated Plans will not be accepted. Plans may be rolled. Information may not be placed in the outer margins.			
(Dealing No.)		5. Lodged by			
		(Include address, phone number, reference, and Lodger Code)			
1. Certificate of Registered Owners or Lessees. 1/We JONIC PROPERTIES NO.2 PTY LTD A.C.N. 156 434 543 TRUSTEE UNDER INSTRUMENT 714891102		6. Existing Title Reference Description New Lots Road Secondary Interests 11382113 Lot 8 on RP19352 2-4, 7-9, 12, 13, 16, 17 & CP 11382113 Lot 9 on RP19352 1, 4-6, 9-11, 14, 15, 18 & CP			
(Names in full) *as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994. *as Lessees of this land agree to this plan.		MORTGAGE ALLOCATIONS Mortgage Lots Fully Encumbered Lots Partially Encumbered 715498822 1-18 715571538 1-18			
Signature of *Registered Owners *Lessees Jonic Properties No 2 Pty Ltd as trustee under instrument 714891102 by its attorney Leslie Anthony Davies under power of attorney 715778727					
* Rule out whichever is inapplicable					
2. Planning Body Approval. * hereby approves this plan in accordance with the : %		Development Approval : 23/11/2012 12. Building Format Plans only. I certify that : * As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road; * Part of the building shown on this plan encroaches onto adjoining lots and road Cadastral Surveyor/Director * Date *delete words not required			
Dated this day of		1-18 & CP Por 195 Lots Orig		13. Lodgement Fees : Survey Deposit Lodgement New Titles Photocopy Postage TOTAL	
* Insert the name of the Planning Body. * Insert designation of signatory or delegation		7. Orig Grant Allocation : 8. Map Reference : 9543-33424 9. Parish : ENOGGERA 10. County : STANLEY 11. Passed & Endorsed : By : B.B.H PTY LTD ACN 010 427 531 Date : Signed : Designation : Liaison Officer			
3. Plans with Community Management Statement : CMS Number : Name : THE AVENUE LUTWYCHE		4. References : Dept File : Local Govt : Surveyor : 12235		14. Insert Plan Number SP257677	

LEVEL A

(Undercroft Level)
Scale 1:250

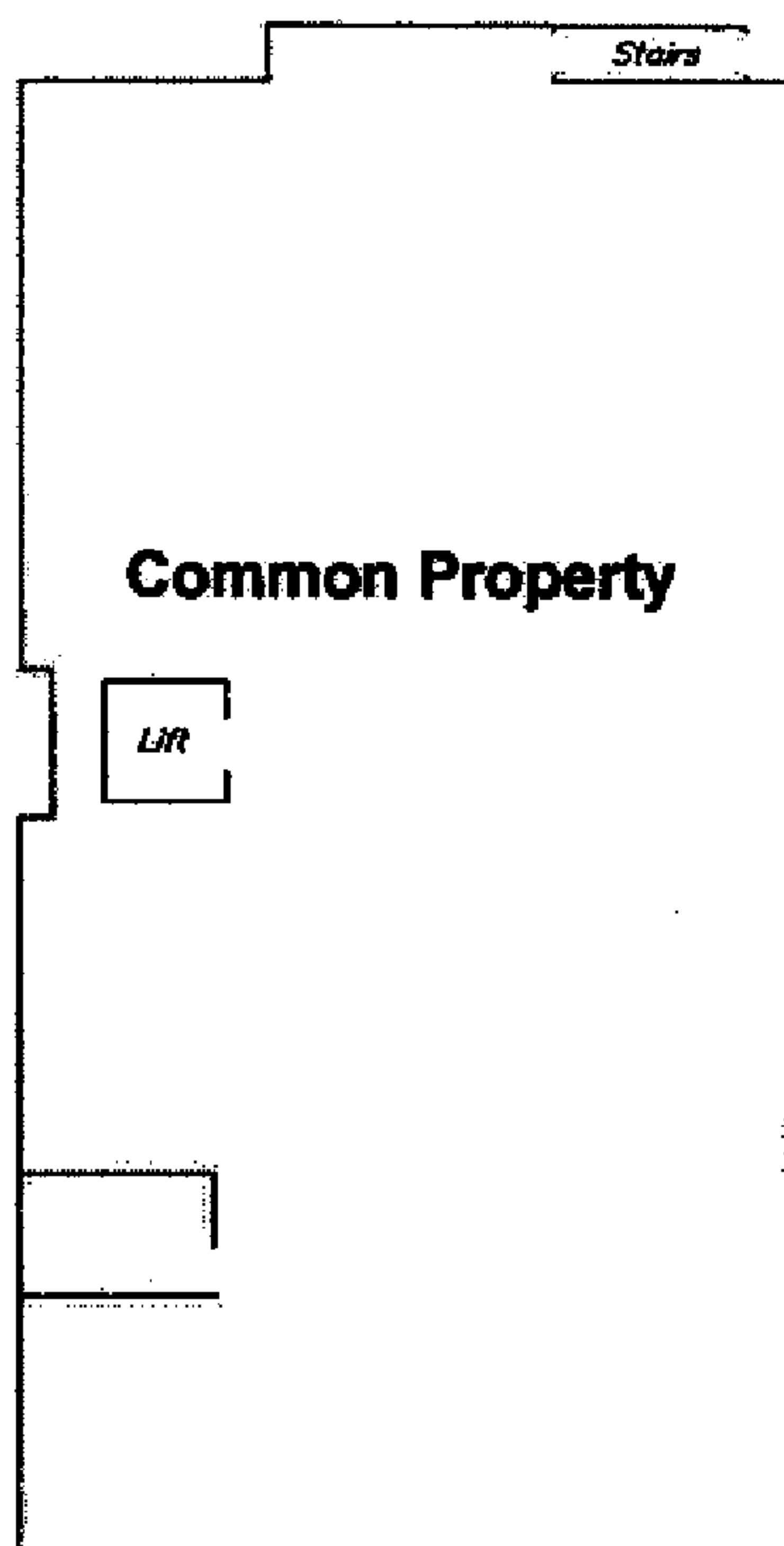


CP

Common Property

LEVEL B

(Basement Level 1)
Scale 1:250

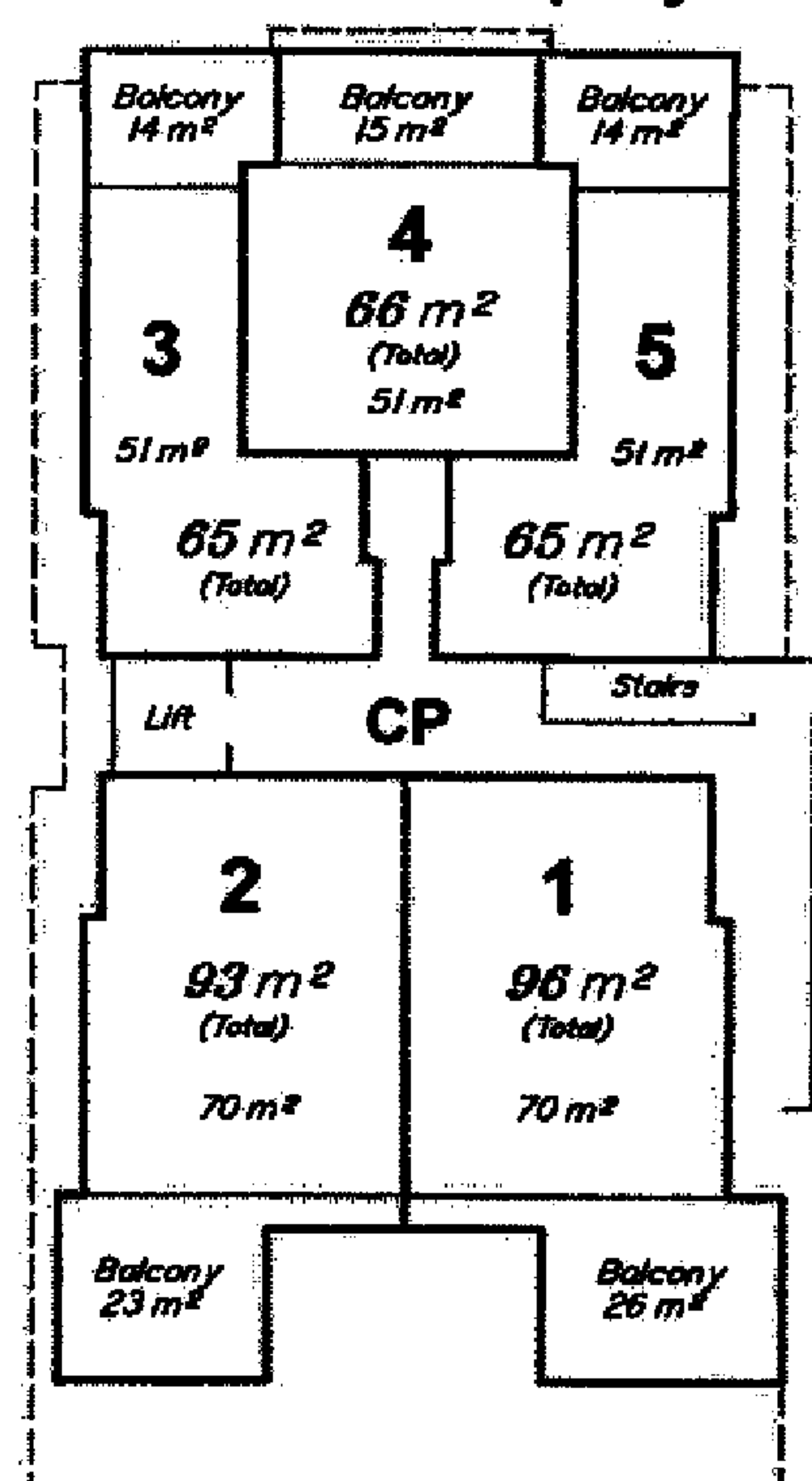


1.09

Common Property

LEVEL C

(Level 1)
Scale 1:250

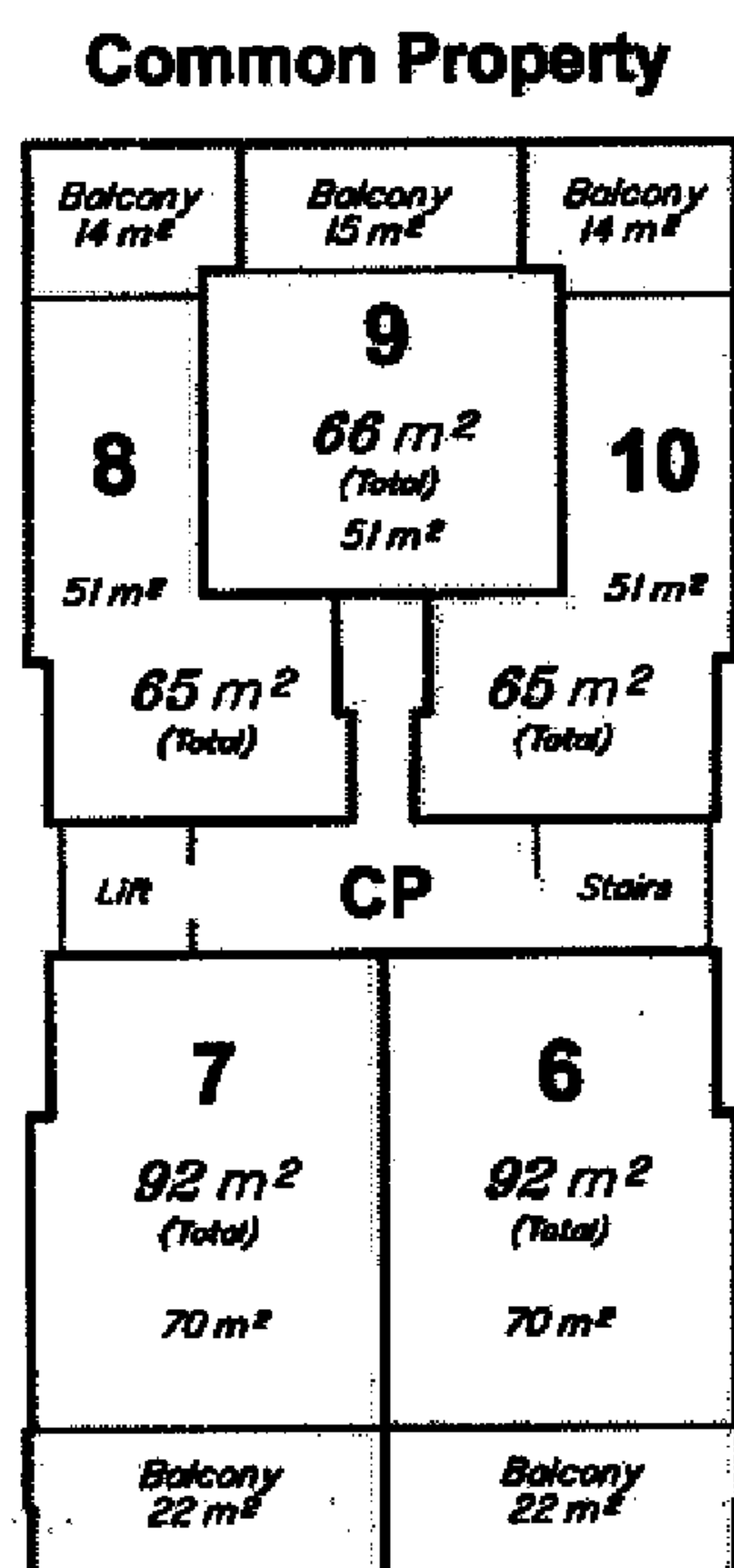


Common Property

Denotes line of level below

LEVEL D

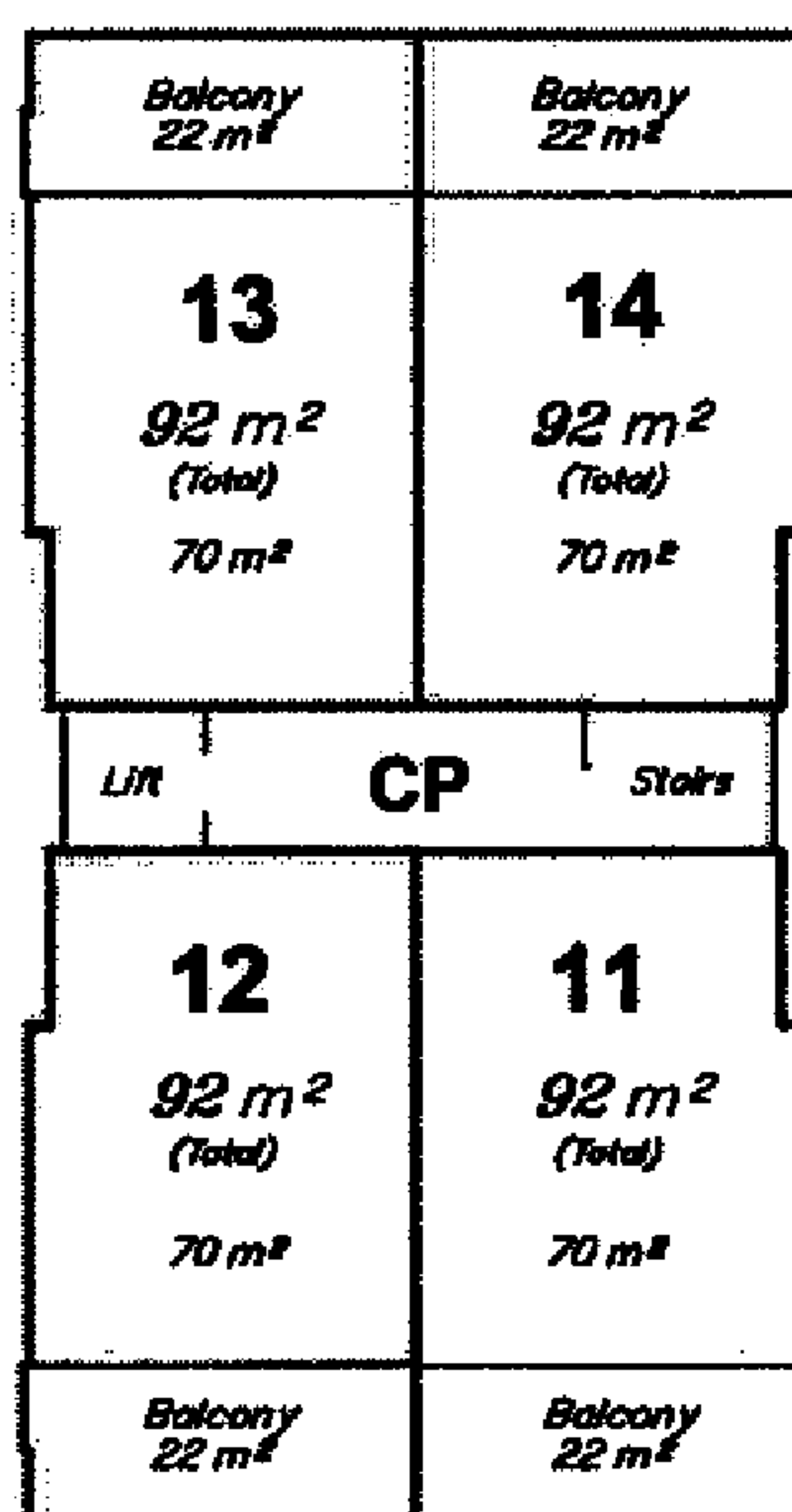
(Level 2)
Scale 1:250



Common Property

LEVEL E

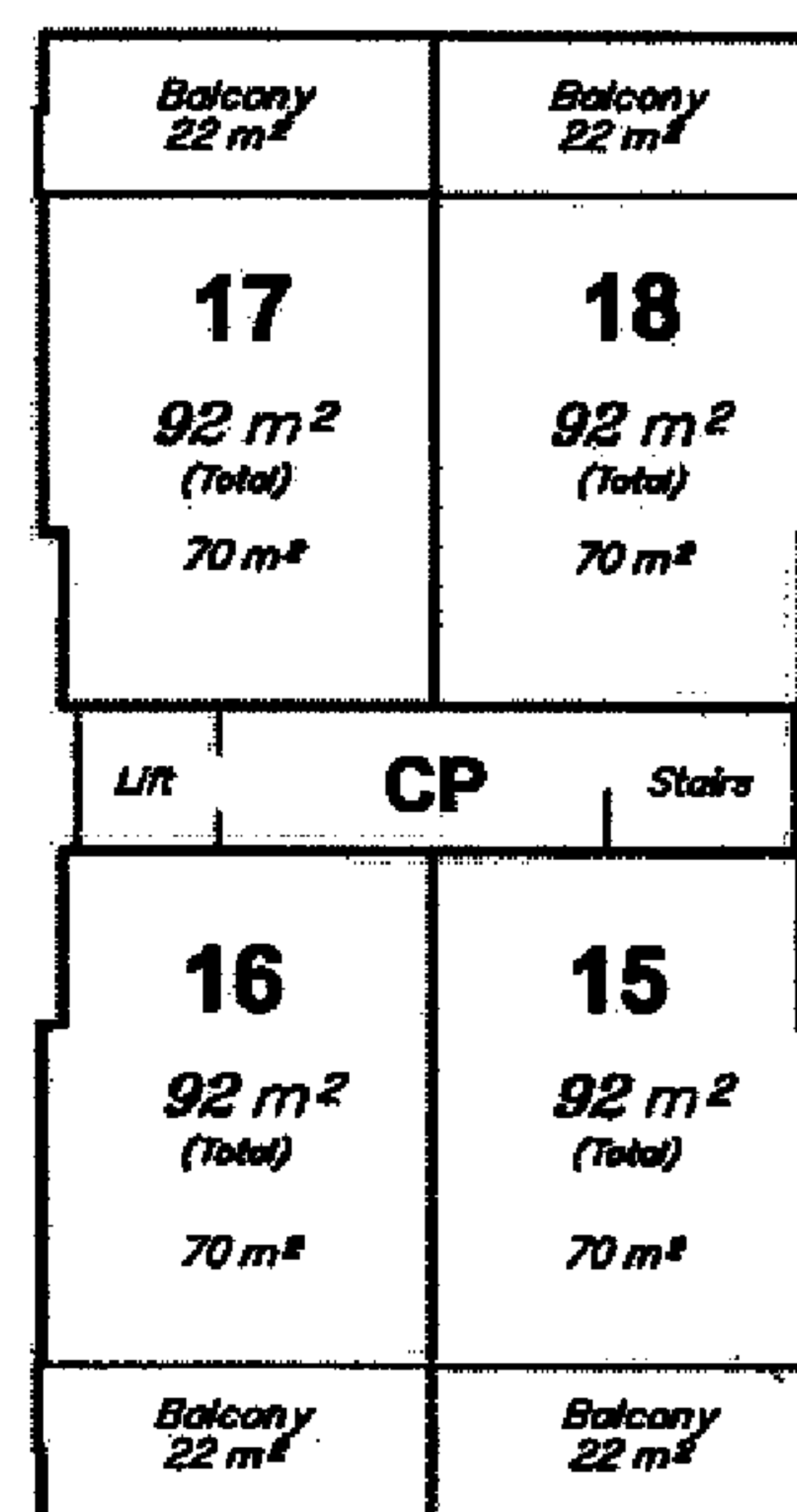
(Level 3)
Scale 1:250



Common Property

LEVEL F

(Level 4)
Scale 1:250



Common Property

Scale 1:250

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Insert
Plan
Number **SP257677**

Stratacare Australia Pty Ltd ABN 87 088 584 267
 E: finance@stratacare.com.au
 P: 07 3435 5300



THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

BALANCE SHEET

AS AT 24 JULY 2026

	ACTUAL 24/07/2026	ACTUAL 30/06/2026
<u>OWNERS FUNDS</u>		
Administrative Fund	7,139.25	20,168.02
Sinking Fund	134,836.29	125,074.71
<u>TOTAL</u>	<u>\$ 141,975.54</u>	<u>\$ 145,242.73</u>
<u>THESE FUNDS ARE REPRESENTED BY</u>		
<u>CURRENT ASSETS</u>		
Cash At Bank	143,463.81	143,742.25
Prepaid Expenses	0.00	23,101.46
<u>TOTAL ASSETS</u>	<u>143,463.81</u>	<u>166,843.71</u>
<u>LIABILITIES</u>		
Accrued Expenses	0.00	784.45
Creditors	0.00	28.16
Levies In Advance	1,488.27	17,135.95
Insurance Payments In Advance	0.00	3,652.42
<u>TOTAL LIABILITIES</u>	<u>1,488.27</u>	<u>21,600.98</u>
<u>NET ASSETS</u>	<u>\$ 141,975.54</u>	<u>\$ 145,242.73</u>

Stratacare Australia Pty Ltd ABN 87 088 584 267

E: finance@stratacare.com.au

P: 07 3435 5300



THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

STATEMENT OF INCOME AND EXPENDITURE

FOR THE PERIOD 01 JULY 2026 TO 24 JULY 2026

	ACTUAL	BUDGET	VARIANCE	ACTUAL
	01/07/26-24/07/26	01/07/26-30/06/27	%	01/07/25-30/06/26
<u>ADMINISTRATIVE FUND</u>				
<u>INCOME</u>				
Admin Fund Levies	8,400.06	34,200.00	24.56	32,000.04
Insurance Levy	4,087.02	20,575.00	19.86	15,570.00
<u>TOTAL ADMIN. FUND INCOME</u>	12,487.08	54,775.00		47,570.04
<u>EXPENDITURE - ADMIN. FUND</u>				
Bank Fee - Deft/Stratapay	0.55	25.00	2.20	17.55
Bc - Debt Recovery	0.00	0.00	0.00	22.00
Cleaning - General	0.00	800.00	0.00	1,100.00
Compliance - Audit Fee	0.00	0.00	0.00	1,012.00
Compliance - Backflow Rego N	0.00	180.00	0.00	158.00
Compliance - Lift Rego N	0.00	450.00	0.00	417.78
Compliance - Switchboard Test	0.00	330.00	0.00	0.00
Fees - Creditor Compliance	0.00	132.00	0.00	132.00
Fire - Audit	0.00	0.00	0.00	567.00
Fire - Compliance	0.00	600.00	0.00	0.00
Fire - System & Equipment	889.90	6,000.00	14.83	5,432.77
Insurance - Premium	21,196.85	20,575.00	103.02	16,748.00
Insurance - Work Cover	0.00	300.00	0.00	277.00
Pest - Pest Control	0.00	185.00	0.00	180.00
Pest - Termite Inspection	0.00	185.00	0.00	180.00
R & M - Access Control System	0.00	500.00	0.00	300.00
R & M - Backflow Maintenance	0.00	250.00	0.00	242.00
R & M - Building	0.00	2,000.00	0.00	429.00
R & M - Cleaning & Gardening	350.00	9,000.00	3.89	8,762.41
R & M - Electrical	0.00	1,200.00	0.00	1,119.14
R & M - Gates	0.00	1,000.00	0.00	0.00
R & M - Keys & Locks	0.00	500.00	0.00	0.00
R & M - Lift Maintenance	1,871.40	6,800.00	27.52	8,695.50
R & M - Lift - Phone & Sim	1,022.11	1,800.00	56.78	697.73
R & M - Plumbing	0.00	500.00	0.00	0.00
Reports - Insurance Valuation	0.00	0.00	0.00	549.60
Reports - Wphs	0.00	0.00	0.00	391.20
Security - Equipment & System	0.00	0.00	0.00	216.00
Utilities - Electricity Com Po	(434.45)	3,500.00	(12.41)	2,995.57
Utilities - Water & Sewerage	0.00	800.00	0.00	(700.37)

Stratacare Australia Pty Ltd ABN 87 088 584 267

E: finance@stratacare.com.au

P: 07 3435 5300



THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

STATEMENT OF INCOME AND EXPENDITURE

FOR THE PERIOD 01 JULY 2026 TO 24 JULY 2026

	ACTUAL	BUDGET	VARIANCE	ACTUAL
	01/07/26-24/07/26	01/07/26-30/06/27	%	01/07/25-30/06/26
Bcm - Disbursements	115.50	1,410.41	8.19	1,386.00
Bcm - Income Tax Lodgement	0.00	330.00	0.00	330.00
Bcm - Additional	49.50	600.00	8.25	604.45
Bcm - Secretarial Contract	322.49	3,748.20	8.60	3,573.47
Bcm - Software Licence Fee	49.50	594.00	8.33	504.96
Bcm - Voc	0.00	165.00	0.00	165.00
Bcm - Work Order & Quotes	82.50	1,881.00	4.39	1,823.25
<u>TOTAL ADMIN. EXPENDITURE</u>	25,515.85	66,340.61		58,329.01
<u>SURPLUS / DEFICIT</u>	<u>\$ (13,028.77)</u>	<u>\$ (11,565.61)</u>		<u>\$ (10,758.97)</u>
Opening Admin. Balance	20,168.02	20,168.02	100.00	30,926.99
<u>ADMINISTRATIVE FUND BALANCE</u>	<u>\$ 7,139.25</u>	<u>\$ 8,602.41</u>		<u>\$ 20,168.02</u>

Stratacare Australia Pty Ltd ABN 87 088 584 267
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 P: 07 3435 5300



THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

STATEMENT OF INCOME AND EXPENDITURE

FOR THE PERIOD 01 JULY 2026 TO 24 JULY 2026

	ACTUAL 01/07/26-24/07/26	BUDGET 01/07/26-30/06/27	VARIANCE %	ACTUAL 01/07/25-30/06/26
<u>SINKING FUND</u>				
<u>INCOME</u>				
Sinking Fund Levies	9,761.58	38,589.00	25.30	37,186.92
<u>TOTAL SINKING FUND INCOME</u>	9,761.58	38,589.00		37,186.92
<u>EXPENDITURE - SINKING FUND</u>				
Fire Control & Equipments	0.00	0.00	0.00	1,303.96
Building - Repairs	0.00	0.00	0.00	8,602.00
Electrical+Comm Lights	0.00	0.00	0.00	622.87
<u>TOTAL SINK. FUND EXPENDITURE</u>	0.00	0.00		10,528.83
<u>SURPLUS / DEFICIT</u>	<u>\$ 9,761.58</u>	<u>\$ 38,589.00</u>		<u>\$ 26,658.09</u>
Opening Sinking Fund Balance	125,074.71	125,074.71	100.00	98,416.62
<u>SINKING FUND BALANCE</u>	<u>\$ 134,836.29</u>	<u>\$ 163,663.71</u>		<u>\$ 125,074.71</u>

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THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

BALANCE SHEET

AS AT 30 JUNE 2026

	ACTUAL 30/06/2026	ACTUAL 30/06/2025
<u>OWNERS FUNDS</u>		
Administrative Fund	20,168.02	30,926.99
Sinking Fund	125,074.71	98,416.62
<u>TOTAL</u>	<u>\$ 145,242.73</u>	<u>\$ 129,343.61</u>
<u>THESE FUNDS ARE REPRESENTED BY</u>		
<u>CURRENT ASSETS</u>		
Cash At Bank	143,742.25	151,511.29
Prepaid Expenses	23,101.46	1,389.46
Sundry Debtors	0.00	25.41
Secondary Debtor	0.00	(85.00)
<u>TOTAL ASSETS</u>	<u>166,843.71</u>	<u>152,841.16</u>
<u>LIABILITIES</u>		
Accrued Expenses	784.45	2,669.47
Creditors	28.16	295.35
Levies In Advance	17,135.95	16,567.49
Insurance Payments In Advance	3,652.42	3,965.24
<u>TOTAL LIABILITIES</u>	<u>21,600.98</u>	<u>23,497.55</u>
<u>NET ASSETS</u>	<u>\$ 145,242.73</u>	<u>\$ 129,343.61</u>

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THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

STATEMENT OF INCOME AND EXPENDITURE

FOR THE PERIOD 01 JULY 2025 TO 30 JUNE 2026

	ACTUAL	BUDGET	VARIANCE	ACTUAL
	01/07/25-30/06/26	01/07/25-30/06/26	%	01/07/24-30/06/25
<u>ADMINISTRATIVE FUND</u>				
<u>INCOME</u>				
Admin Fund Levies	32,000.04	32,000.00	100.00	34,999.92
Key Deposit	0.00	0.00	0.00	255.00
Insurance Levy	15,570.00	15,570.00	100.00	16,903.08
<u>TOTAL ADMIN. FUND INCOME</u>	47,570.04	47,570.00		52,158.00
<u>EXPENDITURE - ADMIN. FUND</u>				
Bank Fee - Deft/Stratapay	17.55	25.00	70.20	19.60
Bc - Debt Recovery	22.00	0.00		0.00
Cleaning - General	1,100.00	0.00		0.00
Compliance - Audit Fee	1,012.00	1,012.00	100.00	0.00
Compliance - Backflow Rego N	158.00	180.00	87.78	152.00
Compliance - Lift Rego N	417.78	450.00	92.84	408.04
Compliance - Switchboard Test	0.00	0.00	0.00	302.31
Fees - Creditor Compliance	132.00	132.00	100.00	132.00
Fees - Land Valuation	0.00	0.00	0.00	178.20
Fire - Audit	567.00	0.00		0.00
Fire - Compliance	0.00	600.00	0.00	0.00
Fire - System & Equipment	5,432.77	6,000.00	90.55	5,426.76
Insurance - Premium	16,748.00	15,570.00	107.57	16,901.39
Insurance - Work Cover	277.00	300.00	92.33	277.00
Pest - Pest Control	180.00	180.00	100.00	170.00
Pest - Termite Inspection	180.00	180.00	100.00	170.00
R & M - Access Control System	300.00	1,000.00	30.00	0.00
R & M - Backflow Maintenance	242.00	250.00	96.80	231.00
R & M - Building	429.00	2,500.00	17.16	2,364.40
R & M - Cleaning & Gardening	8,762.41	9,000.00	97.36	9,111.50
R & M - Electrical	1,119.14	1,000.00	111.91	273.03
R & M - Gates	0.00	1,000.00	0.00	0.00
R & M - Keys & Locks	0.00	600.00	0.00	551.70
R & M - Lift Maintenance	8,695.50	6,800.00	127.88	6,503.49
R & M - Lift - Phone & Sim	697.73	1,800.00	38.76	1,627.60
R & M - Plumbing	0.00	550.00	0.00	539.00
Reports - Insurance Valuation	549.60	585.00	93.95	0.00
Reports - Wphs	391.20	475.00	82.36	0.00
Security - Equipment & System	216.00	0.00		0.00

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THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

STATEMENT OF INCOME AND EXPENDITURE

FOR THE PERIOD 01 JULY 2025 TO 30 JUNE 2026

	ACTUAL	BUDGET	VARIANCE	ACTUAL
	01/07/25-30/06/26	01/07/25-30/06/26	%	01/07/24-30/06/25
Utilities - Electricity Com Po	2,995.57	3,300.00	90.77	3,124.85
Utilities - Rebate Gov	0.00	0.00	0.00	(1,218.75)
Utilities - Water & Sewerage	(700.37)	1,100.00	(63.67)	1,179.85
Bcm - Disbursements	1,386.00	1,386.00	100.00	1,386.00
Bcm - Income Tax Lodgement	330.00	330.00	100.00	330.00
Bcm - Additional	604.45	500.00	120.89	492.24
Bcm - Secretarial Contract	3,573.47	3,573.47	100.00	3,510.00
Bcm - Software Licence Fee	504.96	504.90	100.01	504.96
Bcm - Voc	165.00	220.00	75.00	220.00
Bcm - Work Order & Quotes	1,823.25	1,700.00	107.25	1,683.00
<u>TOTAL ADMIN. EXPENDITURE</u>	58,329.01	62,803.37		56,551.17
<u>SURPLUS / DEFICIT</u>	<u>\$ (10,758.97)</u>	<u>\$ (15,233.37)</u>		<u>\$ (4,393.17)</u>
Opening Admin. Balance	30,926.99	30,926.99	100.00	35,320.16
<u>ADMINISTRATIVE FUND BALANCE</u>	<u>\$ 20,168.02</u>	<u>\$ 15,693.62</u>		<u>\$ 30,926.99</u>

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THE AVENUE LUTWYCHE CTS 46207

47 Norman Avenue Lutwyche Qld 4030

STATEMENT OF INCOME AND EXPENDITURE

FOR THE PERIOD 01 JULY 2025 TO 30 JUNE 2026

	ACTUAL 01/07/25-30/06/26	BUDGET 01/07/25-30/06/26	VARIANCE %	ACTUAL 01/07/24-30/06/25
<u>SINKING FUND</u>				
<u>INCOME</u>				
Sinking Fund Levies	37,186.92	37,187.00	100.00	36,096.12
<u>TOTAL SINKING FUND INCOME</u>	37,186.92	37,187.00		36,096.12
<u>EXPENDITURE - SINKING FUND</u>				
Fire Control	0.00	0.00	0.00	2,903.05
Fire Control & Equipments	1,303.96	0.00		0.00
Building - Repairs	8,602.00	0.00		0.00
Electrical+Comm Lights	622.87	0.00		0.00
<u>TOTAL SINK. FUND EXPENDITURE</u>	10,528.83	0.00		2,903.05
<u>SURPLUS / DEFICIT</u>	<u>\$ 26,658.09</u>	<u>\$ 37,187.00</u>		<u>\$ 33,193.07</u>
Opening Sinking Fund Balance	98,416.62	98,416.62	100.00	65,223.55
<u>SINKING FUND BALANCE</u>	<u>\$ 125,074.71</u>	<u>\$ 135,603.62</u>		<u>\$ 98,416.62</u>

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THE AVENUE LUTWYCHE CTS 46207

ABN 16 864 874 924

STATEMENT

B R Davis
19/9 Moo 7 Srisoonthorn Road
PHUKET THAILAND

Transfer Date:
11/09/14

Statement Period

01 Jul 25 to 24 Jul 26

A/c No	16	Lot No	16
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Page Number		Unit No	16
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Levy notice sent to different address

Date	Type	Details	Reference	Debit	Credit	Balance
		Brought forward			1,304.51	-1,304.51
01/07/25	Admin Fund	01/07/25 to 30/09/25	I0001978	510.42		-794.09
01/07/25	Sinking Fund	01/07/25 to 30/09/25	I0001996	526.40		-267.69
01/07/25	Insurance Levy*	01/07/25 to 30/09/25	I0002014	267.69		0.00
19/08/25	Admin Fund	01/10/25 to 31/12/25	I0002032	510.42		510.42
19/08/25	Sinking Fund	01/10/25 to 31/12/25	I0002050	526.40		1,036.82
19/08/25	Insurance Levy*	01/10/25 to 31/12/25	I0002068	267.69		1,304.51
13/11/25	Other	Arrears Notice Fee	M0000171	22.00		1,326.51
19/11/25	Admin Fund	01/01/26 to 31/03/26	I0002086	378.47		1,704.98
19/11/25	Sinking Fund	01/01/26 to 31/03/26	I0002104	506.57		2,211.55
19/11/25	Insurance Levy*	01/01/26 to 31/03/26	I0002122	201.98		2,413.53
20/11/25	Receipt	Admin Fund	R0000775		510.42	1,903.11
20/11/25	Receipt	Sinking Fund	RA000775		526.40	1,376.71
20/11/25	Receipt	Insurance Levy*	RB000775		267.69	1,109.02
20/11/25	Receipt	Other	RC000775		22.00	1,087.02
17/12/25	Receipt	Admin Fund	R0000785		378.47	708.55
17/12/25	Receipt	Sinking Fund	RA000785		506.57	201.98
17/12/25	Receipt	Insurance Levy*	RB000785		201.98	0.00
				\$3,718.04	\$3,718.04	\$0.00
Over 90 Days	90 Days	60 Days	30 Days	Current	BALANCE DUE: Nil	
0.00	0.00	0.00	0.00	0.00	Date Paid	Amount Paid



DEFT Reference Number:
279819379 1000 0000 167



Billers Code: 96503
Ref: 279819379 1000 0000 167

Lot 16/ Unit 16
The Avenue Lutwyche

Visit www.deft.com.au to pay by card or direct debit.

** Payments by credit card may attract a surcharge

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All cheques must be made payable to:

The Body Corporate for THE AVENUE LUTWYCHE C.T.S 46207



*496 279819379 10000000167

TOTAL AMOUNT DUE
DUE DATE

\$0.00

Stratacare Australia Pty Ltd ABN 87 088 584 267
E: finance@stratacare.com.au
P: 07 3435 5300



THE AVENUE LUTWYCHE CTS 46207

ABN 16 864 874 924

STATEMENT

B R Davis
19/9 Moo 7 Srisoonthorn Road
PHUKET THAILAND

Statement Period			
01 Jul 25 to 24 Jul 26			
A/c No	16	Lot No	16
Page Number			

Levy notice sent to different address

Transfer Date: 11/09/14

Date	Type	Details	Reference	Debit	Credit	Balance
18/02/26	Admin Fund	01/04/26 to 30/06/26	I0002140	378.47		378.47
18/02/26	Sinking Fund	01/04/26 to 30/06/26	I0002158	506.57		885.04
18/02/26	Insurance Levy*	01/04/26 to 30/06/26	I0002176	201.98		1,087.02
20/02/26	Receipt	Admin Fund	R0000805		378.47	708.55
20/02/26	Receipt	Sinking Fund	RA000805		506.57	201.98
20/02/26	Receipt	Insurance Levy*	RB000805		201.98	0.00
18/05/26	Admin Fund	01/07/26 to 30/09/26	I0002194	466.67		466.67
18/05/26	Sinking Fund	01/07/26 to 30/09/26	I0002212	542.31		1,008.98
18/05/26	Insurance Levy*	01/07/26 to 30/09/26	I0002230	246.57		1,255.55
03/06/26	Receipt	Admin Fund	R0000830		466.67	788.88
03/06/26	Receipt	Sinking Fund	RA000830		542.31	246.57
03/06/26	Receipt	Insurance Levy*	RB000830		246.57	0.00
				\$6,060.61	\$6,060.61	\$0.00